

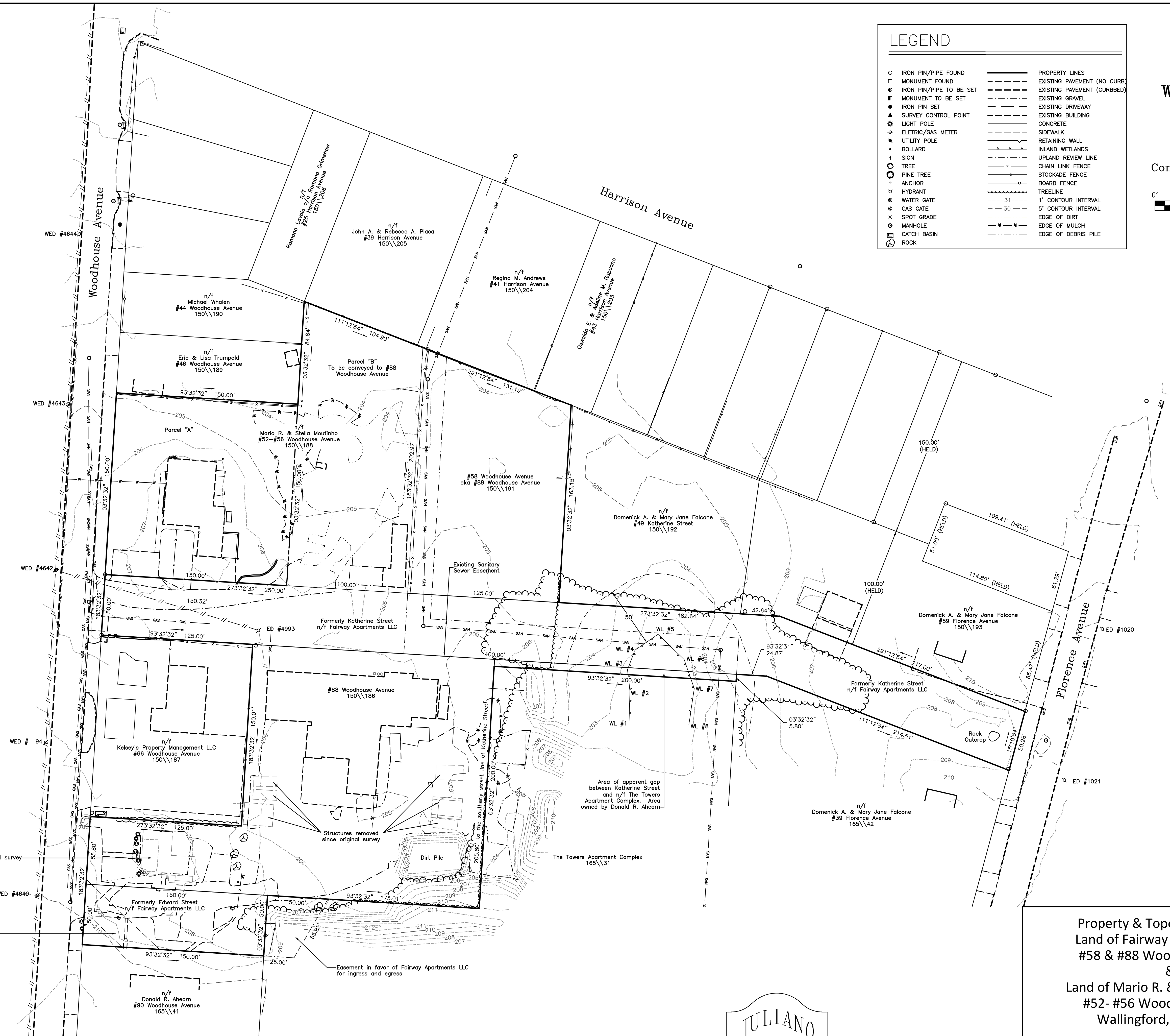
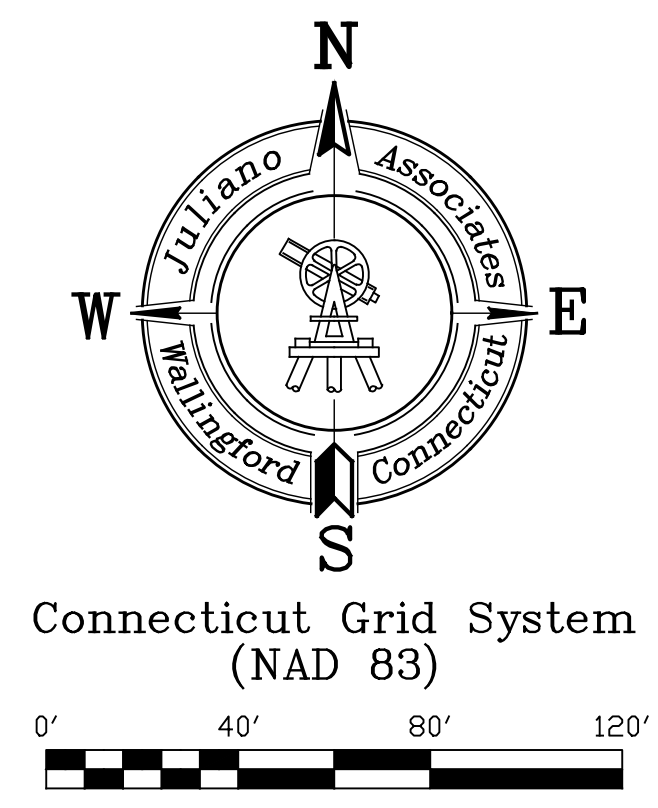


Site Location Plan
Scale: 1" = 500'

SURVEYOR'S NOTES:

- THIS SURVEY AND MAP HAVE BEEN PREPARED IN CONFORMANCE WITH REGULATIONS AS DEFINED IN THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THRU 20-300b-20, AS AMENDED OCTOBER 26, 2018.
- THE TYPE OF SURVEY PERFORMED IS A PROPERTY & TOPOGRAPHIC SURVEY. A PROPERTY SURVEY IS INTENDED TO DEPICT BOUNDARIES, EASEMENTS, RIGHTS AND PRINCIPAL IMPROVEMENTS (ONLY) ON AND ADJACENT TO THE PROPERTY. A TOPOGRAPHIC SURVEY IS INTENDED TO DEPICT THE CONFIGURATION (RELIEF) OF THE EARTH'S SURFACE (GROUND) AND THE LOCATION OF NATURAL AND ARTIFICIAL OBJECTS THEREON.
- THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY OF THE MAP REFERENCES.
- THIS SURVEY CONFORMS TO A HORIZONTAL ACCURACY STANDARD OF CLASS A-2 AND A VERTICAL ACCURACY STANDARD OF CLASS V-2. TOPOGRAPHY, AS DEPICTED HEREON, CONFORMS TO AN ACCURACY STANDARD OF CLASS T-2.
- AZIMUTHS AND COORDINATES ARE BASED UPON THE CONNECTICUT GRID SYSTEM NORTH AMERICAN DATUM OF 1983. ELEVATIONS ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- THE PROPERTY IS LOCATED WITHIN A RESIDENTIAL (R-18) ZONE.
- THE AREA OF THE #88 WOODHOUSE AVENUE IS 94,111± SQUARE FEET (2.16± ACRES). THE AREA OF THE #58 WOODHOUSE AVENUE IS 22,883± SQUARE FEET (0.53± ACRES). THE AREA OF THE #52-#56 WOODHOUSE AVENUE IS 44,391± SQUARE FEET (1.02± ACRES). THE AREA OF #52-#56 WOODHOUSE AVENUE DESIGNATED AS PARCEL B IS 21,891± SQUARE FEET (0.50± ACRES). THE PROPOSED PROJECT AREA [#88 WOODHOUSE, #58 WOODHOUSE, AND PARCEL B] IS 138,885± SQUARE FEET (3.19± ACRES).
- THE PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE(S): ZONE X (AREAS OF MINIMAL FLOODING) AS DEPICTED ON NATIONAL FLOOD HAZARD LAYER FIRMETTE, TOWN OF WALLINGFORD, 090909, 0909030308H, EFFECTIVE DATE: 12/17/2010. MAPPING PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- REFERENCE IS MADE TO THE FOLLOWING MAP(S):
 - PROPERTY & TOPOGRAPHIC SURVEY, LAND OF, DONALD R. AHEARN, #58 & #88 WOODHOUSE AVENUE, WALLINGFORD, CONNECTICUT. SCALE: 1" = 50'. DATE: 12/03/12. MAP PREPARED BY JULIANO ASSOCIATES LLC.
 - PROPERTY & TOPOGRAPHIC SURVEY, LOT LINE REVISION, LAND OF, MARIO R. & STELLA MOUTINHO, #52-#56 WOODHOUSE AVENUE, WALLINGFORD, CONNECTICUT. SCALE: 1" = 20'. DATE: 01/16/20, REVISED TO: 01/20/20. MAP PREPARED BY JULIANO ASSOCIATES LLC.
 - LIMITED PROPERTY/BOUNDARY SURVEY, EASEMENT MAP, SANITARY SEWER EASEMENT, OVER LAND OF FAIRWAY APARTMENTS LLC, #44-88 WOODHOUSE AVENUE, WALLINGFORD, CONNECTICUT. SCALE: 1" = 10'. DATE: 04/24/19. MAP PREPARED BY JULIANO ASSOCIATES LLC.
- THE PROPERTIES ARE SUBJECT/PRIVILEGED TO:
 - A RIGHT GIVEN TO THE TOWN OF WALLINGFORD TO LOCATE, CONSTRUCT AND MAINTAIN A LINE OF PIPES TO CONVEY WATER AND TO ENTER UPON THE LAND FOR THE PURPOSE OF CONSTRUCTION, REPAIR AND RENEWAL OF SAID PIPES IN ACCORDANCE WITH GRANT FROM LEANDER HARRISON TO THE BOROUGH OF WALLINGFORD DATED FEBRUARY 28, 1883 AND RECORDED IN VOLUME 72, PAGE 247, OF THE WALLINGFORD LAND RECORDS ON MARCH 13, 1883.
 - A RIGHT GIVEN TO THE TOWN OF WALLINGFORD TO LOCATE, CONSTRUCT AND MAINTAIN A LINE OF PIPES TO CONVEY WATER AND TO ENTER UPON THE LAND FOR THE PURPOSE OF CONSTRUCTION, REPAIR AND RENEWAL OF SAID PIPES IN ACCORDANCE WITH GRANT FROM LEANDER HARRISON TO THE BOROUGH OF WALLINGFORD DATED SEPTEMBER 8, 1891 AND RECORDED IN VOLUME 81, PAGE 215, OF THE WALLINGFORD LAND RECORDS ON SEPTEMBER 14, 1891.
- THE PROPERTIES IDENTIFIED AS #58 & #88 WOODHOUSE AVENUE ARE SUBJECT/PRIVILEGED TO:
 - A SANITARY SEWER EASEMENT IN FAVOR OF THE TOWN OF WALLINGFORD (MAP #4766) AND/OR TOWERS APARTMENT COMPLEX (MAP #0-511). THE DEEDS FOR THE TOWERS APARTMENT COMPLEX, THE AHEARN PROPERTIES, AND #41 HARRISON ROAD DO NOT HAVE A REFERENCE TO SAID EASEMENT.
- INLAND WETLANDS WITHIN THE PROPERTY WERE FIELD DELINEATED ("FLAGGED") BY TOM PIETRAS [SOIL SCIENCE AND ENVIRONMENTAL SERVICES, INC.] ON OCTOBER 3, 2012. INLAND WETLANDS WERE FIELD LOCATED AND MAPPED BY JULIANO ASSOCIATES DURING THE COURSE OF THE FIELD SURVEY.
- AT THE TIME OF THIS SURVEY, WOODHOUSE AVENUE IS A MONUMENTED STATE HIGHWAY (ROUTE 150) AND HAS A WALLINGFORD STREET DESIGNATION OF FEED WITH AN 80 FOOT RIGHT OF WAY. HARRISON AVENUE AND FLORENCE AVENUE ARE ACCEPTED TOWN ROADS WITH 50 FOOT RIGHT OF WAYS. KATHERINE STREET AND EDWARD STREET ARE PAPER STREETS WITH 50 FOOT RIGHT OF WAYS.
- THIS BOUNDARY OPINION WAS MADE AND SURVEY MAP PREPARED FROM INFORMATION CONTAINED IN DEEDS, MAPS OF RECORD AND PHOTO SURVEYS OBTAINED DURING THE FIELD SURVEY CONDUCTED OCTOBER 22, 24, 25, 26, NOVEMBER 1 AND 12, 2012, AND JANUARY 2020.

LEGEND			
○	IRON PIN/PIPE FOUND	—	PROPERTY LINES
□	MONUMENT FOUND	- - - -	EXISTING PAVEMENT (NO CURB)
●	IRON PIN/PIPE TO BE SET	- - - -	EXISTING PAVEMENT (CURBED)
■	MONUMENT TO BE SET	- - - -	EXISTING GRAVEL
○	IRON PIN SET	- - - -	EXISTING DRIVEWAY
▲	SURVEY CONTROL POINT	- - - -	EXISTING BUILDING
⊙	LIGHT POLE	- - - -	CONCRETE
⊕	ELECTRIC/GAS METER	- - - -	SIDEWALK
⊖	UTILITY POLE	- - - -	RETAINING WALL
+	BOLLARD	- - - -	INLAND WETLANDS
⊙	SIGN	- - - -	UPLAND REVIEW LINE
○	TREE	- - - -	CHAIN LINK FENCE
○	PINE TREE	- - - -	STOCKADE FENCE
+	ANCHOR	- - - -	BOARD FENCE
⊕	HYDRANT	- - - -	TREELINE
⊖	WATER GATE	- - - -	1' CONTOUR INTERVAL
⊙	GAS GATE	- - - -	5' CONTOUR INTERVAL
×	SPOT GRADE	- - - -	EDGE OF DIRT
○	MANHOLE	- - - -	EDGE OF MULCH
⊕	CATCH BASIN	- - - -	EDGE OF DEBRIS PILE
⊖	ROCK	- - - -	



Structure removed since original survey

Sanitary Sewer Easement in favor of #90 Woodhouse Avenue of Land of Fairway Apartments LLC (#88 Woodhouse Avenue)

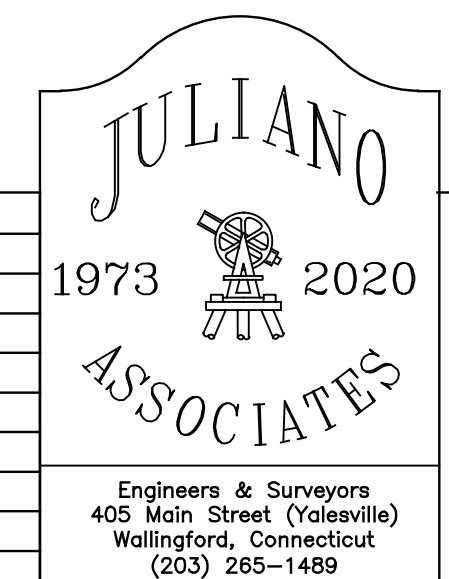
To the best of my knowledge and belief this map is substantially correct as noted hereon.

Christopher S. Juliano, LS #19725 Date

This survey is not valid unless it contains the live signature and seal of the above noted professional. Subsequent revisions to this plan other than by the original surveyor effectually void this certification.



REVISIONS	
DATE	DESCRIPTION
04/30/20	AS PER TOWN STAFF COMMENTS.

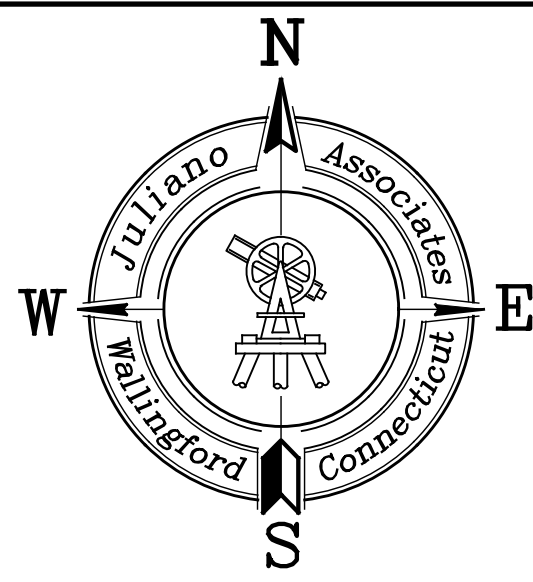


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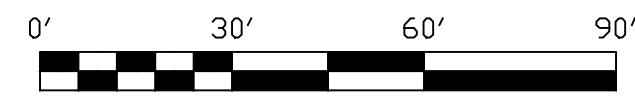
Property & Topographic Survey
Land of Fairway Apartments LLC
#58 & #88 Woodhouse Avenue
&
Land of Mario R. & Stella Moutinho
#52- #56 Woodhouse Avenue
Wallingford, Connecticut

Project no.:	19-210	Date:	03/23/20	Scale:	1" = 40'
Work map:	CJULIANO	Checked:	ZGEORGINA	Sheet:	1 of 9
Final map:	CJULIANO	Released:	CJULIANO	Revision:	A

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Connecticut Grid System (NAD 83)



Parking Requirements:

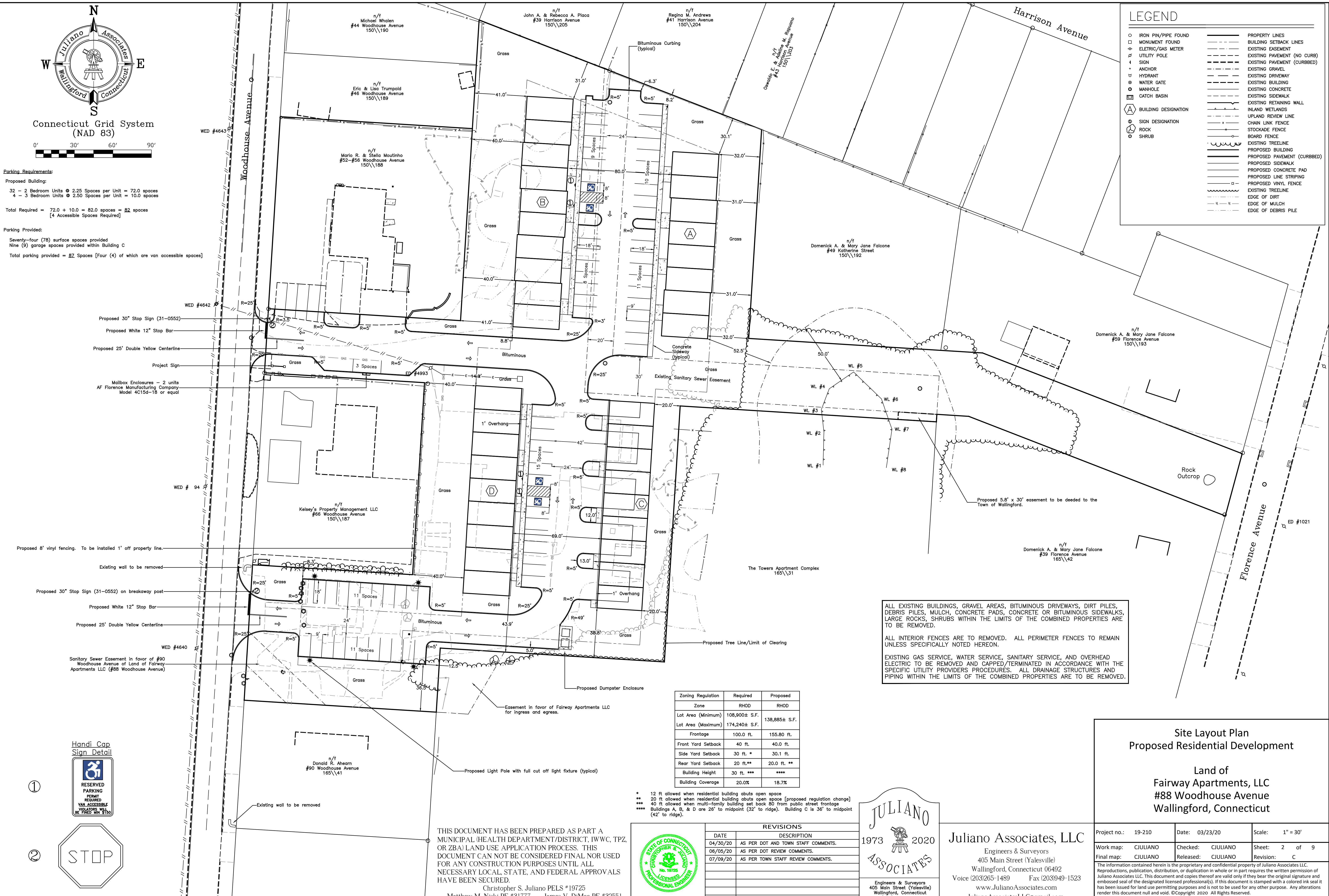
Proposed Building:
32 - 2 Bedroom Units @ 2.25 Spaces per Unit = 72.0 spaces
4 - 3 Bedroom Units @ 2.50 Spaces per Unit = 10.0 spaces

Total Required = 72.0 + 10.0 = 82.0 spaces = 82 spaces
[4 Accessible Spaces Required]

Parking Provided:

Seventy-four (74) surface spaces provided
Nine (9) garage spaces provided within Building C
Total parking provided = 82 Spaces [Four (4) of which are van accessible spaces]

LEGEND table with symbols for IRON PIN/PIPE FOUND, MONUMENT FOUND, ELECTRIC/GAS METER, UTILITY POLE, SIGN, ANCHOR, HYDRANT, WATER GATE, MANHOLE, CATCH BASIN, BUILDING DESIGNATION, SIGN DESIGNATION, ROCK, SHRUB, PROPERTY LINES, BUILDING SETBACK LINES, EXISTING EASEMENT, EXISTING PAVEMENT (NO CURB), EXISTING PAVEMENT (CURBED), EXISTING GRAVEL, EXISTING DRIVEWAY, EXISTING CONCRETE, EXISTING SIDEWALK, EXISTING RETAINING WALL, INLAND WETLANDS, UPLAND REVIEW LINE, CHAIN LINK FENCE, STOCKADE FENCE, BOARD FENCE, EXISTING TREELINE, PROPOSED BUILDING, PROPOSED PAVEMENT (CURBED), PROPOSED SIDEWALK, PROPOSED CONCRETE PAD, PROPOSED LINE STRIPING, PROPOSED VINYL FENCE, EXISTING TREELINE, EDGE OF DIRT, EDGE OF MULCH, EDGE OF DEBRIS PILE.



ALL EXISTING BUILDINGS, GRAVEL AREAS, BITUMINOUS DRIVEWAYS, DIRT PILES, DEBRIS PILES, MULCH, CONCRETE PADS, CONCRETE OR BITUMINOUS SIDEWALKS, LARGE ROCKS, SHRUBS WITHIN THE LIMITS OF THE COMBINED PROPERTIES ARE TO BE REMOVED.
ALL INTERIOR FENCES ARE TO BE REMOVED. ALL PERIMETER FENCES TO REMAIN UNLESS SPECIFICALLY NOTED HEREON.
EXISTING GAS SERVICE, WATER SERVICE, SANITARY SERVICE, AND OVERHEAD ELECTRIC TO BE REMOVED AND CAPPED/TERMINATED IN ACCORDANCE WITH THE SPECIFIC UTILITY PROVIDERS PROCEDURES. ALL DRAINAGE STRUCTURES AND PIPING WITHIN THE LIMITS OF THE COMBINED PROPERTIES ARE TO BE REMOVED.

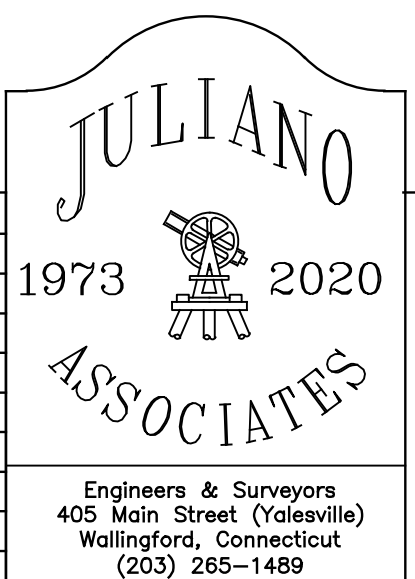
Zoning Regulation table with columns: Zoning Regulation, Required, Proposed. Rows include Zone (RHOD), Lot Area (Minimum/Maximum), Frontage, Front Yard Setback, Side Yard Setback, Rear Yard Setback, Building Height, and Building Coverage.

* 12 ft allowed when residential building abuts open space
** 20 ft allowed when residential building abuts open space [proposed regulation change]
*** 40 ft allowed when multi-family building set back 80 from public street frontage
**** Buildings A, B, & D are 26' to midpoint (32' to ridge). Building C is 36' to midpoint (42' to ridge).

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Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS table with columns: DATE, DESCRIPTION. Rows show dates 04/30/20, 06/05/20, and 07/09/20 with descriptions of staff review comments.



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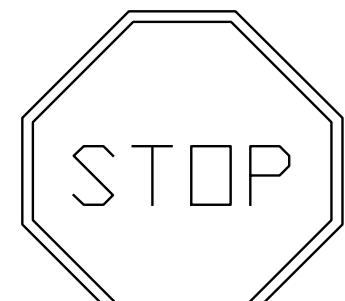
Site Layout Plan
Proposed Residential Development

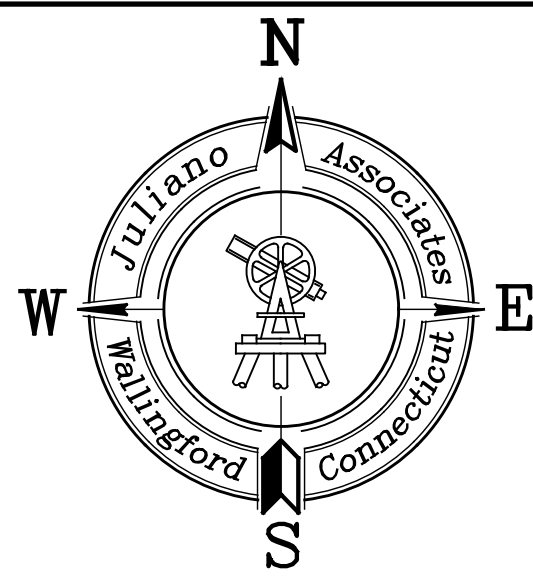
Land of
Fairway Apartments, LLC
#88 Woodhouse Avenue
Wallingford, Connecticut

Project information table with columns: Project no., Date, Scale, Work map, Checked, Released, Sheet, Revision.

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Handi Cap Sign Detail

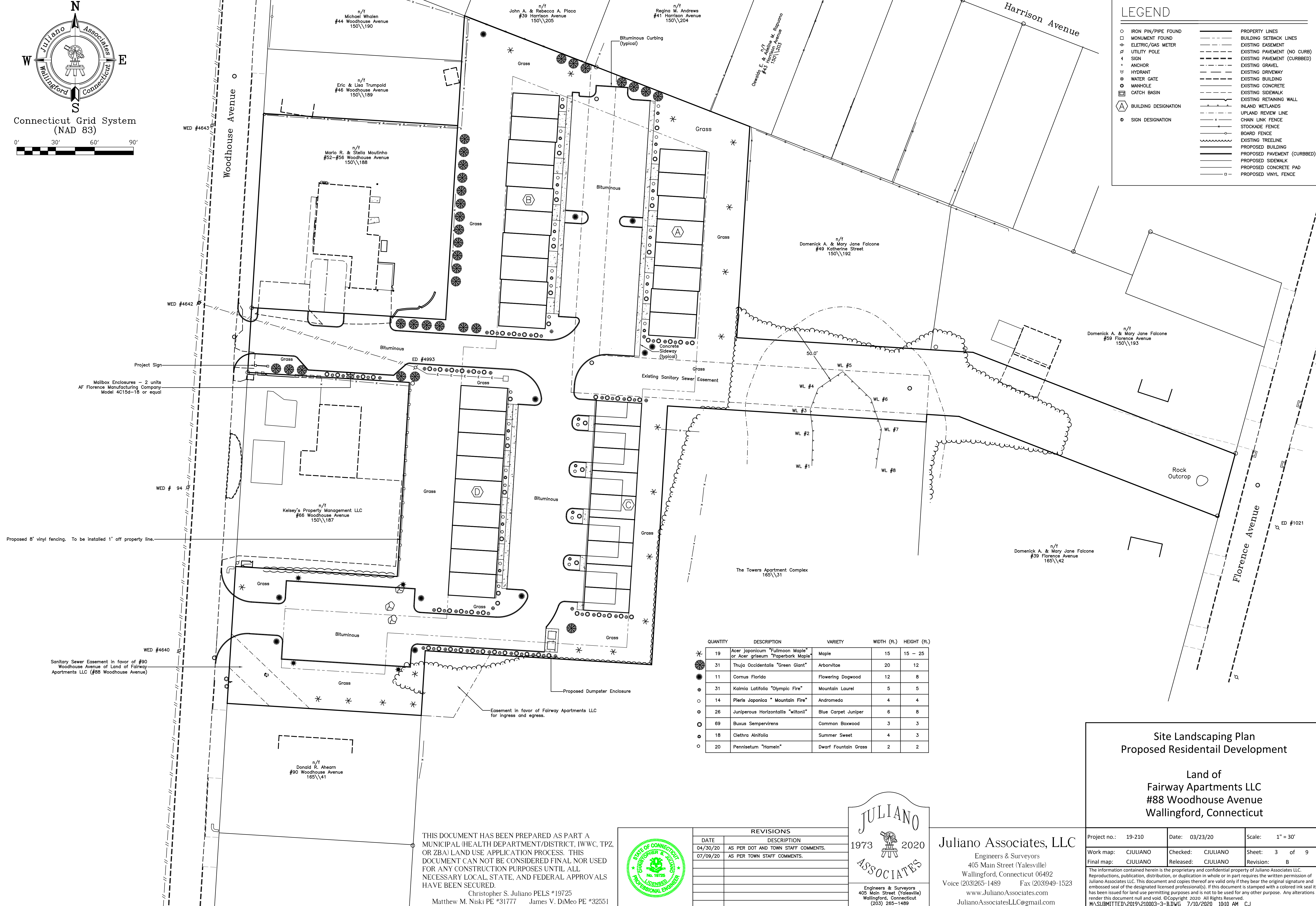




Connecticut Grid System
(NAD 83)



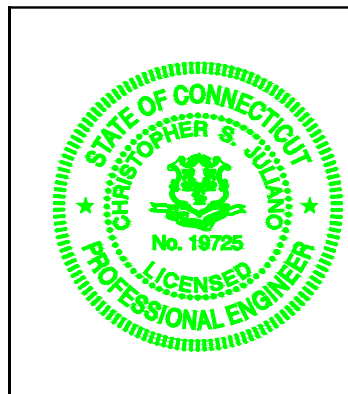
LEGEND			
○	IRON PIN/PIPE FOUND	---	PROPERTY LINES
□	MONUMENT FOUND	---	BUILDING SETBACK LINES
⊕	ELECTRIC/GAS METER	---	EXISTING EASEMENT
⊕	UTILITY POLE	---	EXISTING PAVEMENT (NO CURB)
+	SIGN	---	EXISTING PAVEMENT (CURBED)
+	ANCHOR	---	EXISTING GRAVEL
⊕	HYDRANT	---	EXISTING DRIVEWAY
⊕	WATER GATE	---	EXISTING BUILDING
⊕	MANHOLE	---	EXISTING CONCRETE
⊕	CATCH BASIN	---	EXISTING SIDEWALK
⊕	BUILDING DESIGNATION	---	EXISTING RETAINING WALL
⊕	SIGN DESIGNATION	---	INLAND WETLANDS
		---	UPLAND REVIEW LINE
		---	CHAIN LINK FENCE
		---	STOCKADE FENCE
		---	BOARD FENCE
		---	EXISTING TREELINE
		---	PROPOSED BUILDING
		---	PROPOSED PAVEMENT (CURBED)
		---	PROPOSED SIDEWALK
		---	PROPOSED CONCRETE PAD
		---	PROPOSED VINYL FENCE



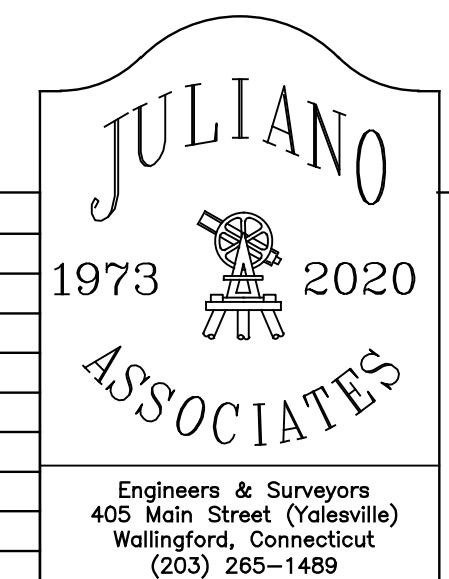
QUANTITY	DESCRIPTION	VARIETY	WIDTH (ft.)	HEIGHT (ft.)
19	Acer japonicum "Fullmoon Maple" or Acer griseum "Paperbark Maple"	Maple	15	15 - 25
31	Thuja occidentalis "Green Giant"	Arborvitae	20	12
11	Cornus Florida	Flowering Dogwood	12	8
31	Kalmia latifolia "Olympic Fire"	Mountain Laurel	5	5
14	Pieris japonica "Mountain Fire"	Andromeda	4	4
26	Juniperus horizontalis "Wiltonii"	Blue Carpet Juniper	6	8
69	Buxus sempervirens	Common Boxwood	3	3
18	Clethra alnifolia	Summer Sweet	4	3
20	Pennisetum "Hamelin"	Dwarf Fountain Grass	2	2

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Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS	
DATE	DESCRIPTION
04/30/20	AS PER DOT AND TOWN STAFF COMMENTS.
07/09/20	AS PER TOWN STAFF COMMENTS.



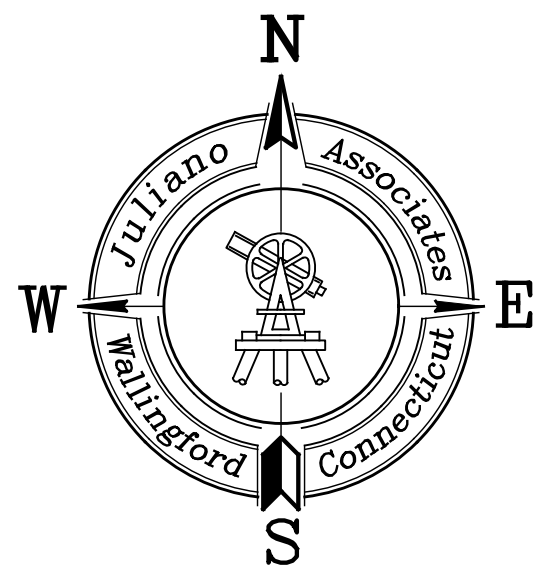
Juliano Associates, LLC
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JulianoAssociatesLLC@gmail.com

Site Landscaping Plan
Proposed Residential Development

Land of
Fairway Apartments LLC
#88 Woodhouse Avenue
Wallingford, Connecticut

Project no.:	19-210	Date:	03/23/20	Scale:	1" = 30'
Work map:	CJULIANO	Checked:	CJULIANO	Sheet:	3 of 9
Final map:	CJULIANO	Released:	CJULIANO	Revision:	B

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Connecticut Grid System
(NAD 83)



Top of frames for the existing manholes within the project site are to be raised to within 0.04' (1/2 inch) of the proposed finished grade.

Existing Manhole #1: Existing TF = 205.32 Proposed TF = 207.85
Existing Manhole #2: Existing TF = 203.89 Proposed TF = 205.19

Surfaced Area - Existing Conditions = 42,820 square feet
Surfaced Area - Proposed Conditions = 69,043 square feet
Net surfaced area = 26,223 square feet

The individual responsible for implementing and maintaining the erosion controls for this project is:

Robert G. Wiedenmann, Jr.
Sunwood Development Corp.
273 North Colony Street, Suite 2
Wallingford, CT 06492
Phone 203-269-0325 Fax 203-265-3676
Website www.sunwooddevelopment.com
E-mail bob@sunwooddevelopment.com

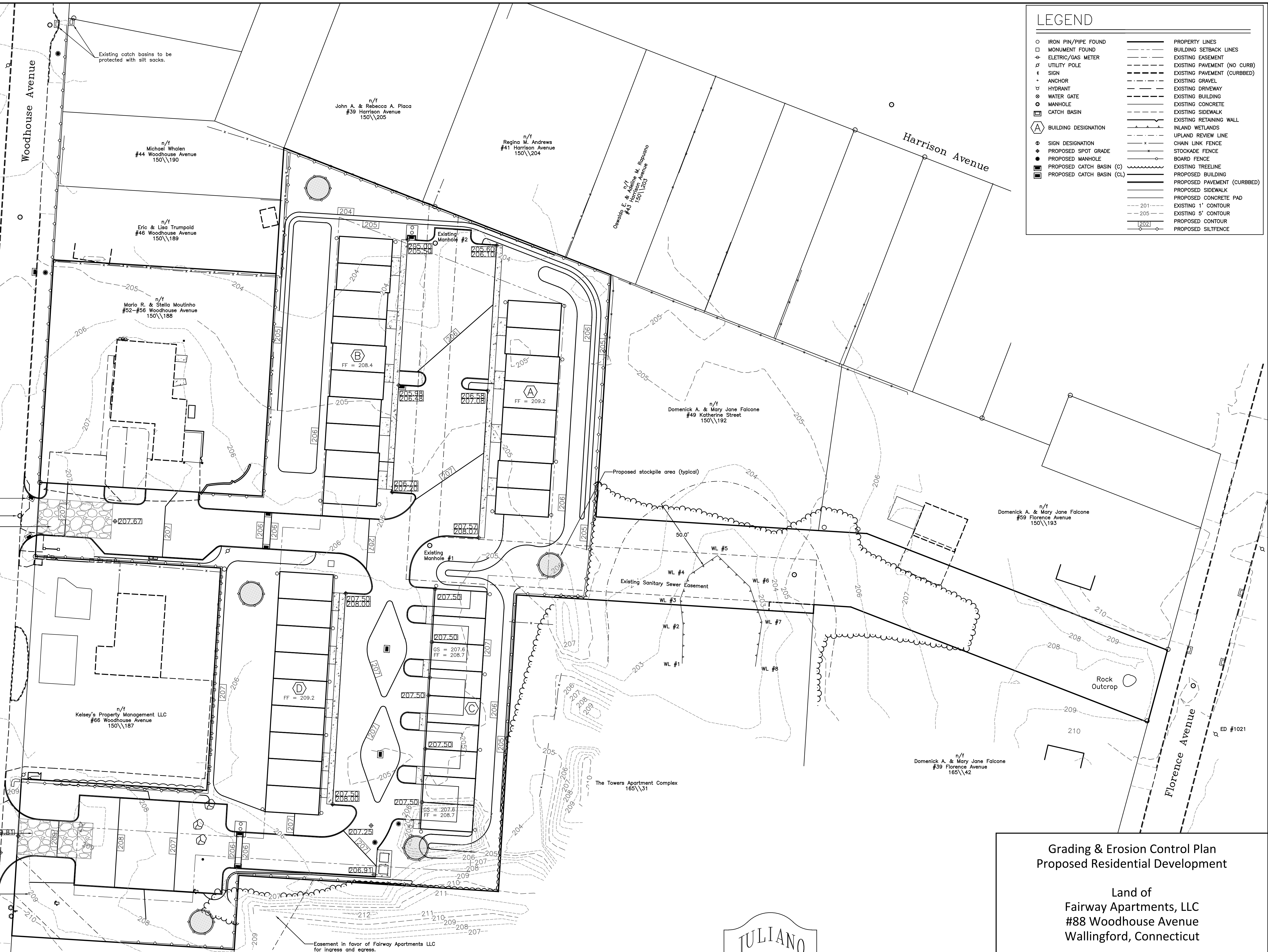
All proposed catch basins to be protected with silt socks (typical)

Existing manhole TF = 206.71

Construction entrance. To remain until binder course is installed.

Construction entrance. To remain until binder course is installed.

Sanitary Sewer Easement in favor of #90 Woodhouse Avenue of Land of Fairway Apartments LLC (#88 Woodhouse Avenue)



LEGEND			
○	IRON PIN/PIPE FOUND	—	PROPERTY LINES
□	MONUMENT FOUND	- - -	BUILDING SETBACK LINES
⊕	ELECTRIC/GAS METER	- - -	EXISTING EASEMENT
⊕	UTILITY POLE	- - -	EXISTING PAVEMENT (NO CURB)
+	SIGN	- - -	EXISTING PAVEMENT (CURBED)
+	ANCHOR	- - -	EXISTING GRAVEL
⊕	HYDRANT	- - -	EXISTING DRIVEWAY
⊕	WATER GATE	- - -	EXISTING BUILDING
○	MANHOLE	- - -	EXISTING CONCRETE
⊕	CATCH BASIN	- - -	EXISTING SIDEWALK
⊕	BUILDING DESIGNATION	- - -	EXISTING RETAINING WALL
⊕	SIGN DESIGNATION	- - -	INLAND WETLANDS
⊕	PROPOSED SPOT GRADE	- - -	UPLAND REVIEW LINE
⊕	PROPOSED MANHOLE	- - -	CHAIN LINK FENCE
⊕	PROPOSED CATCH BASIN (C)	- - -	STOCKADE FENCE
⊕	PROPOSED CATCH BASIN (CL)	- - -	BOARD FENCE
		- - -	EXISTING TREELINE
		- - -	PROPOSED BUILDING
		- - -	PROPOSED PAVEMENT (CURBED)
		- - -	PROPOSED SIDEWALK
		- - -	PROPOSED CONCRETE PAD
		- - -	EXISTING 1' CONTOUR
		- - -	EXISTING 5' CONTOUR
		- - -	PROPOSED CONTOUR
		- - -	PROPOSED SILTFENCE

**Grading & Erosion Control Plan
Proposed Residential Development**

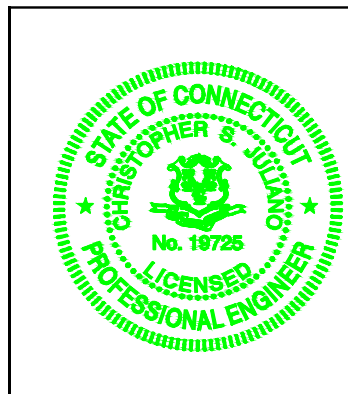
Land of
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Project no.:	19-210	Date:	03/23/20	Scale:	1" = 30'
Work map:	CJULIANO	Checked:	CJULIANO	Sheet:	4 of 9
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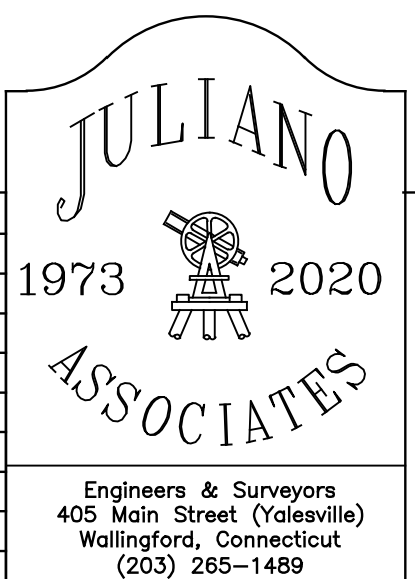
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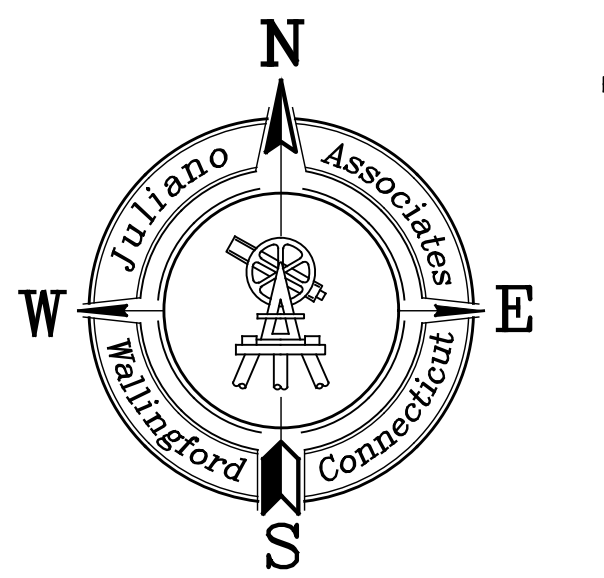
Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS	
DATE	DESCRIPTION
04/30/20	PER DOT & TOWN STAFF REVIEW COMMENTS.
07/09/20	PER TOWN STAFF REVIEW COMMENTS.



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Connecticut Grid System (NAD 83)



Roof leaders from buildings A & C to discharge to grade to provide recharge to existing wetlands.

Top of frames for the existing manholes within the project site are to be raised to within 0.04" (1/2 inch) of the proposed finished grade.

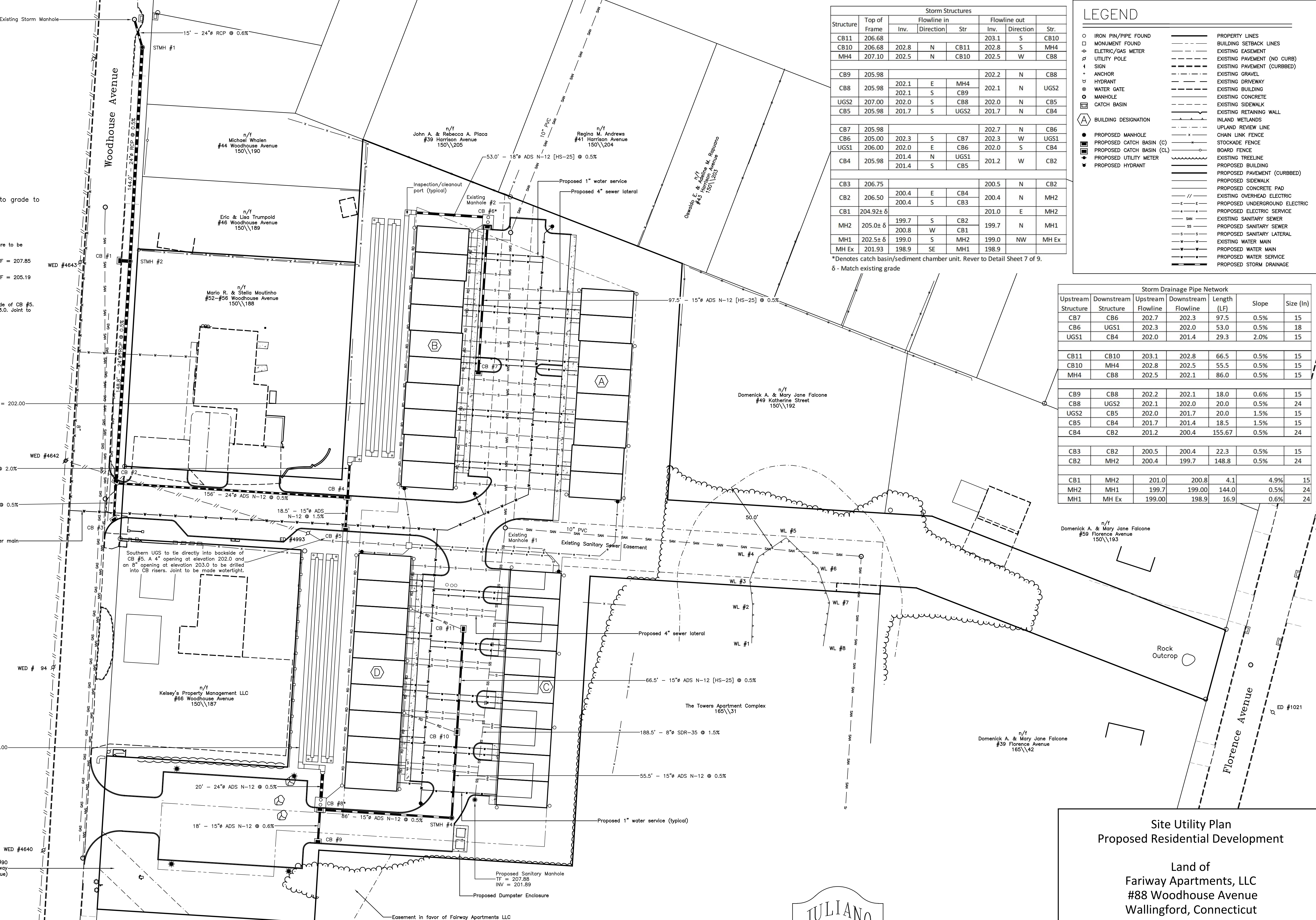
Existing Manhole #1: Existing TF = 205.32 Proposed TF = 207.85 Invert = 199.06
Existing Manhole #2: Existing TF = 203.89 Proposed TF = 205.19 Invert = 198.44

Southern Underground Storage to connect directly into the backside of CB #5. A 4" opening to be at elevation 202.0 and an 8" opening at 203.0. Joint to be made watertight.

831' - 36" ADS N-12 Water Tight. Bottom Elevation = 202.00

765' - 36" ADS N-12 Water Tight. Bottom Elevation = 202.00

Sanitary Sewer Easement in favor of #90 Woodhouse Avenue of Land of Fairway Apartments LLC (#88 Woodhouse Avenue)



Structure	Top of Frame	Flowline in		Flowline out	
		Inv.	Direction	Inv.	Direction
CB11	206.68			203.1	S
CB10	206.68	202.8	N	202.8	S
MH4	207.10	202.5	N	202.5	W
CB9	205.98			202.2	N
CB8	205.98	202.1	E	202.1	N
UGS2	207.00	202.0	S	202.0	N
CB5	205.98	201.7	S	201.7	N
CB7	205.98			202.7	N
CB6	205.00	202.3	S	202.3	W
UGS1	206.00	202.0	E	202.0	S
CB4	205.98	201.4	N	201.2	W
CB3	206.75			200.5	N
CB2	206.50	200.4	E	200.4	N
CB1	204.92±δ	200.4	S	201.0	E
MH2	205.0±δ	199.7	S	199.7	N
MH1	202.5±δ	200.8	W	199.0	NW
MH Ex	201.93	198.9	SE	198.9	

*Denotes catch basin/sediment chamber unit. Revert to Detail Sheet 7 of 9.
δ - Match existing grade

LEGEND	
○	IRON PIN/PIPE FOUND
□	MONUMENT FOUND
⊕	ELECTRIC/GAS METER
⊕	UTILITY/GAS METER
+	SIGN
⊕	ANCHOR
⊕	HYDRANT
⊕	WATER GATE
○	MANHOLE
⊕	CATCH BASIN
⊕	BUILDING DESIGNATION
●	PROPOSED MANHOLE
⊕	PROPOSED CATCH BASIN (C)
⊕	PROPOSED CATCH BASIN (CL)
⊕	PROPOSED UTILITY METER
⊕	PROPOSED HYDRANT
---	PROPERTY LINES
---	BUILDING SETBACK LINES
---	EXISTING EASEMENT
---	EXISTING PAVEMENT (NO CURB)
---	EXISTING PAVEMENT (CURBED)
---	EXISTING GRAVEL
---	EXISTING DRIVEWAY
---	EXISTING CONCRETE
---	EXISTING SIDEWALK
---	EXISTING RETAINING WALL
---	INLAND WETLANDS
---	UPLAND REVIEW LINE
---	CHAIN LINK FENCE
---	STOCKADE FENCE
---	BOARD FENCE
---	EXISTING TREELINE
---	PROPOSED PAVEMENT (CURBED)
---	PROPOSED SIDEWALK
---	PROPOSED CONCRETE PAD
---	EXISTING OVERHEAD ELECTRIC
---	PROPOSED UNDERGROUND ELECTRIC
---	PROPOSED ELECTRIC SERVICE
---	EXISTING SANITARY SEWER
---	PROPOSED SANITARY SEWER
---	PROPOSED SANITARY LATERAL
---	EXISTING WATER MAIN
---	PROPOSED WATER MAIN
---	PROPOSED WATER SERVICE
---	PROPOSED STORM DRAINAGE

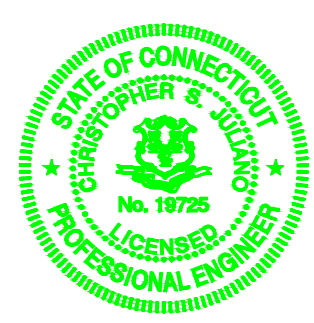
Storm Drainage Pipe Network						
Upstream Structure	Downstream Structure	Upstream Flowline	Downstream Flowline	Length (LF)	Slope	Size (in)
CB7	CB6	202.7	202.3	97.5	0.5%	15
CB6	UGS1	202.3	202.0	53.0	0.5%	18
UGS1	CB4	202.0	201.4	29.3	2.0%	15
CB11	CB10	203.1	202.8	66.5	0.5%	15
CB10	MH4	202.8	202.5	55.5	0.5%	15
MH4	CB8	202.5	202.1	86.0	0.5%	15
CB9	CB8	202.2	202.1	18.0	0.6%	15
CB8	UGS2	202.1	202.0	20.0	0.5%	24
UGS2	CB5	202.0	201.7	20.0	1.5%	15
CB5	CB4	201.7	201.4	18.5	1.5%	15
CB4	CB2	201.2	200.4	155.67	0.5%	24
CB3	CB2	200.5	200.4	22.3	0.5%	15
CB2	MH2	200.4	199.7	148.8	0.5%	24
CB1	MH2	201.0	200.8	4.1	4.9%	15
MH2	MH1	199.7	199.0	144.0	0.5%	24
MH1	MH Ex	199.00	198.9	16.9	0.6%	24

Site Utility Plan
Proposed Residential Development

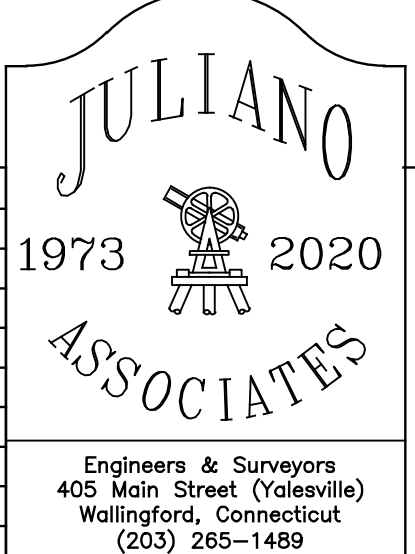
Land of
Fairway Apartments, LLC
#88 Woodhouse Avenue
Wallingford, Connecticut

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Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS	
DATE	DESCRIPTION
04/30/20	AS PER DOT & TOWN STAFF REVIEW COMMENTS.
07/09/20	AS PER TOWN STAFF REVIEW COMMENTS.



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Project no.:	19-210	Date:	03/23/20	Scale:	1" = 30'
Work map:	CJULIANO	Checked:	CJULIANO	Sheet:	5 of 9
Final map:	CJULIANO	Released:	CJULIANO	Revision:	B

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Form 817 Construction Notes

All work within the State right-of-way will comply with Form 817, The State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges and Incidental Construction with the latest Special Provisions and Typical State Standard Details. In any case where the construction is not specifically detailed in the Form 817, the work will be completed as directed by the Engineer or District Permit Section Representative.

Removal of pavement markings along state roadways shall be completed by a non-destructive method in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.11 as revised.

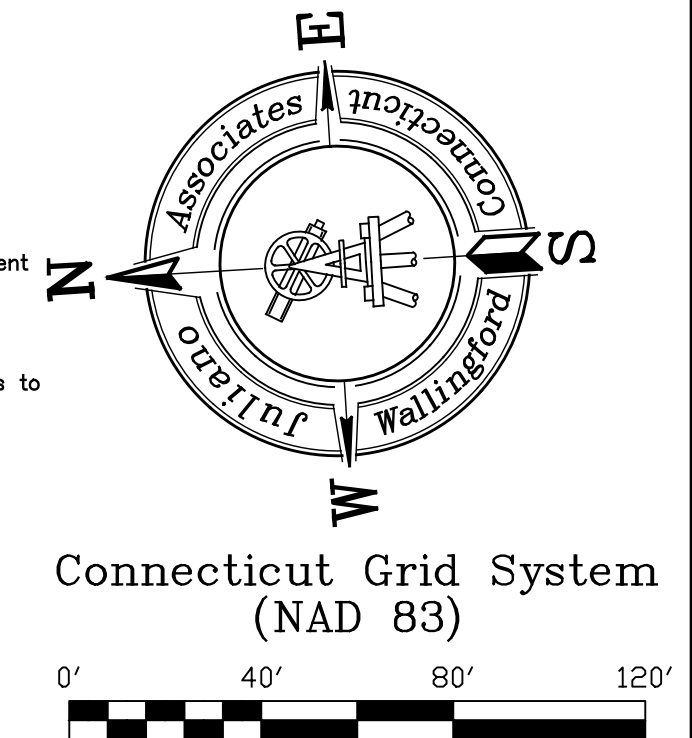
New Pavement markings shall be painted with epoxy resin paint in compliance with the State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.10 as revised.

New sign material and sheeting shall be made of reflective material in compliance with State of Connecticut Department of Transportation Standard Specifications for Roads, Bridges, and Incidental Construction Form 817 Section 12.08 as revised. Type 1 Reflective Sheeting shall be used for signs with white background ; Type 3 Reflective Sheeting shall be used for signs with colored background except for signs with red background that shall be Type 8 or 9 Reflective Sheeting.

All signs and pavement markings installed within the State Right of Way must conform to the Manual on Uniform Traffic Control Devices and the latest State of Connecticut Catalog of Signs as revised.

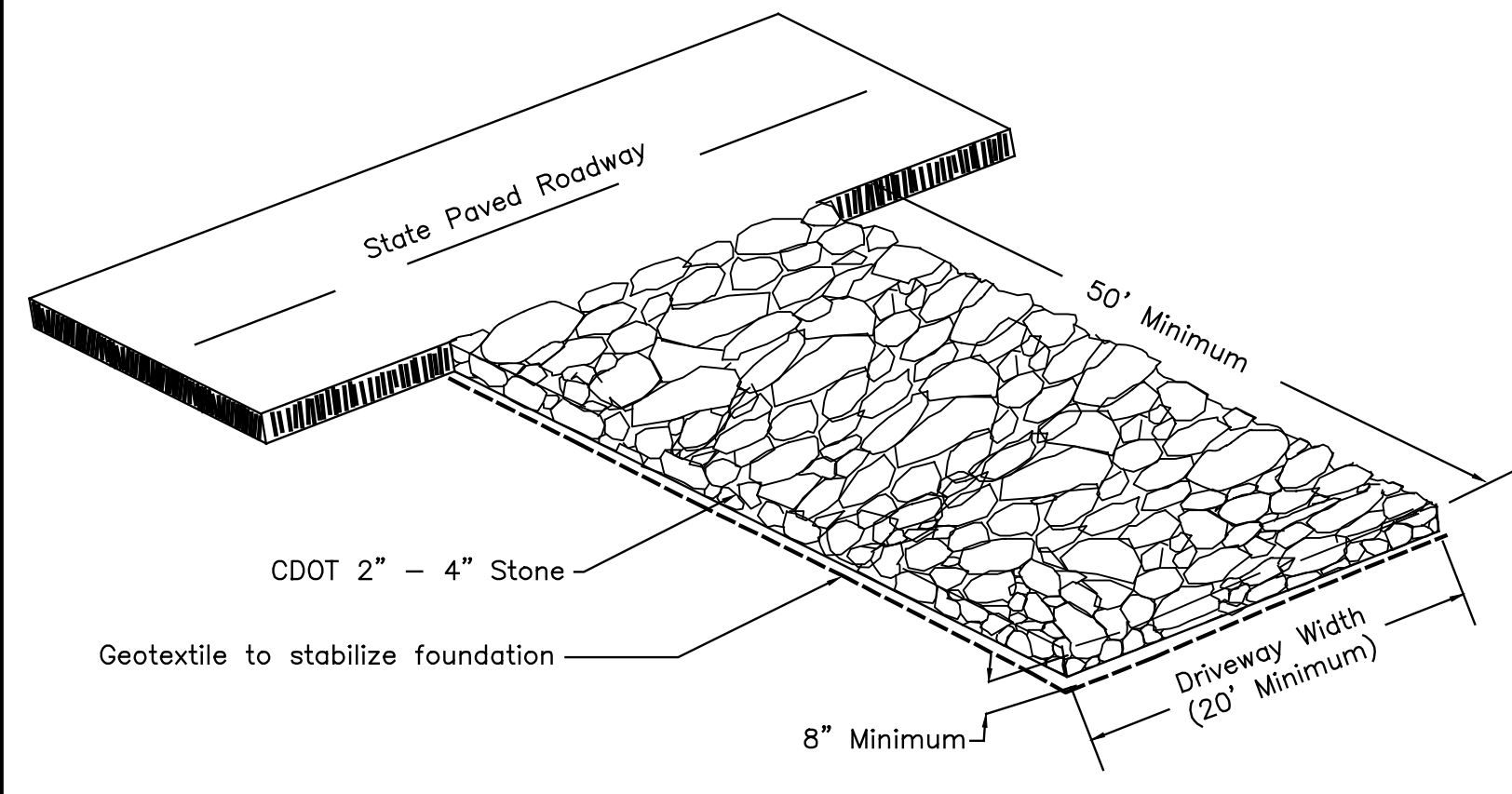
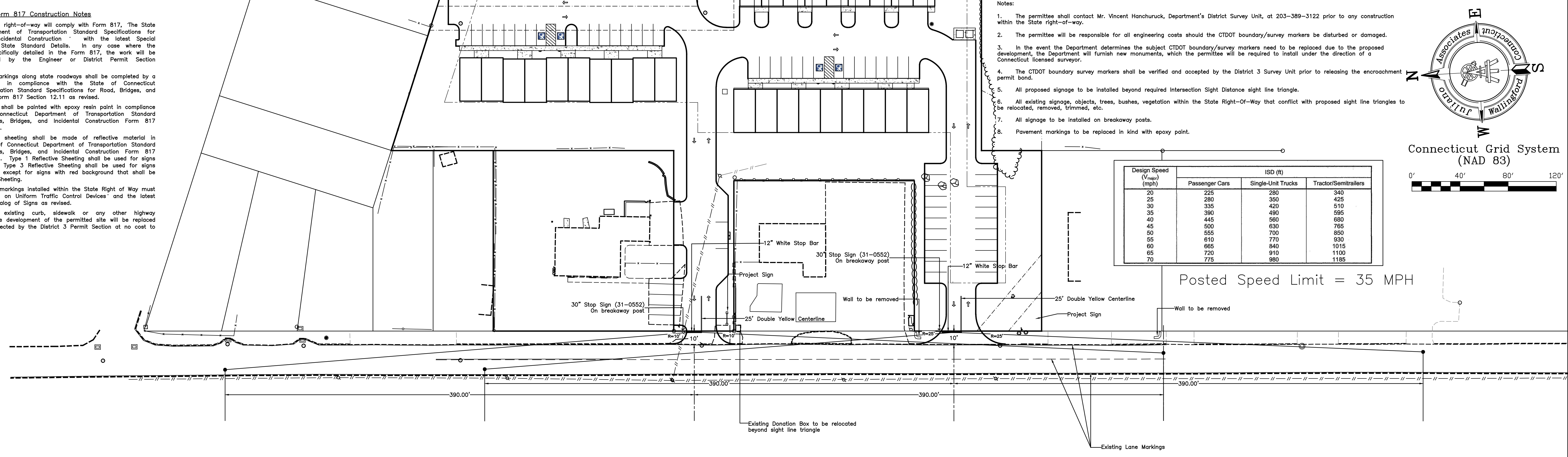
Any damage to the existing curb, sidewalk or any other highway appurtenances during the development of the permitted site will be replaced by the contractor as directed by the District 3 Permit Section at no cost to the State.

- Notes:
- The permittee shall contact Mr. Vincent Hanchuruck, Department's District Survey Unit, at 203-389-3122 prior to any construction within the State right-of-way.
 - The permittee will be responsible for all engineering costs should the CTDOT boundary/survey markers be disturbed or damaged.
 - In the event the Department determines the subject CTDOT boundary/survey markers need to be replaced due to the proposed development, the Department will furnish new monuments, which the permittee will be required to install under the direction of a Connecticut licensed surveyor.
 - The CTDOT boundary survey markers shall be verified and accepted by the District 3 Survey Unit prior to releasing the encroachment permit bond.
 - All proposed signage to be installed beyond required Intersection Sight Distance sight line triangle.
 - All existing signage, objects, trees, bushes, vegetation within the State Right-Of-Way that conflict with proposed sight line triangles to be relocated, removed, trimmed, etc.
 - All signage to be installed on breakaway posts.
 - Pavement markings to be replaced in kind with epoxy paint.



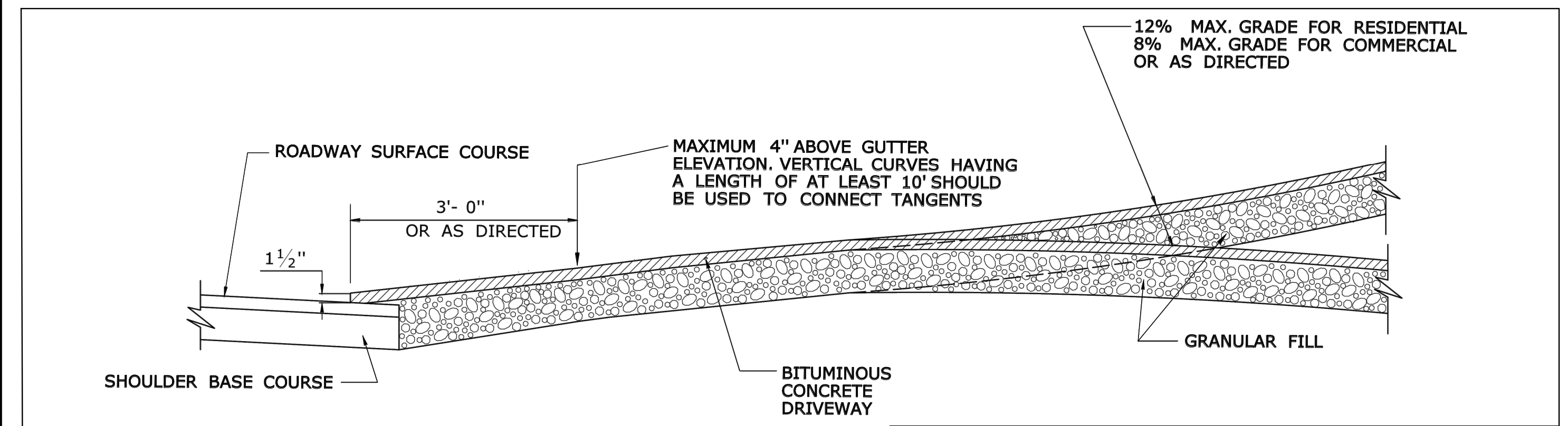
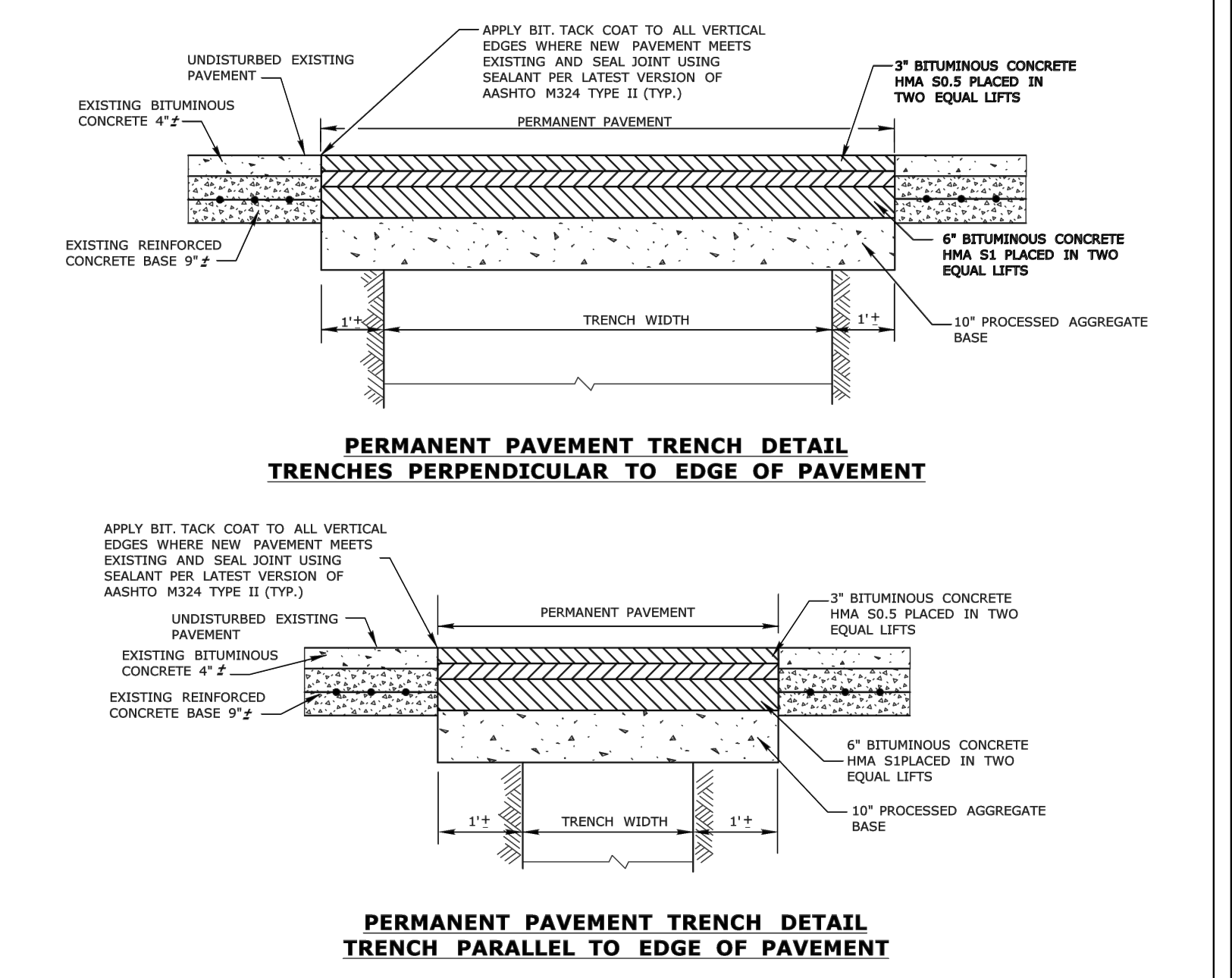
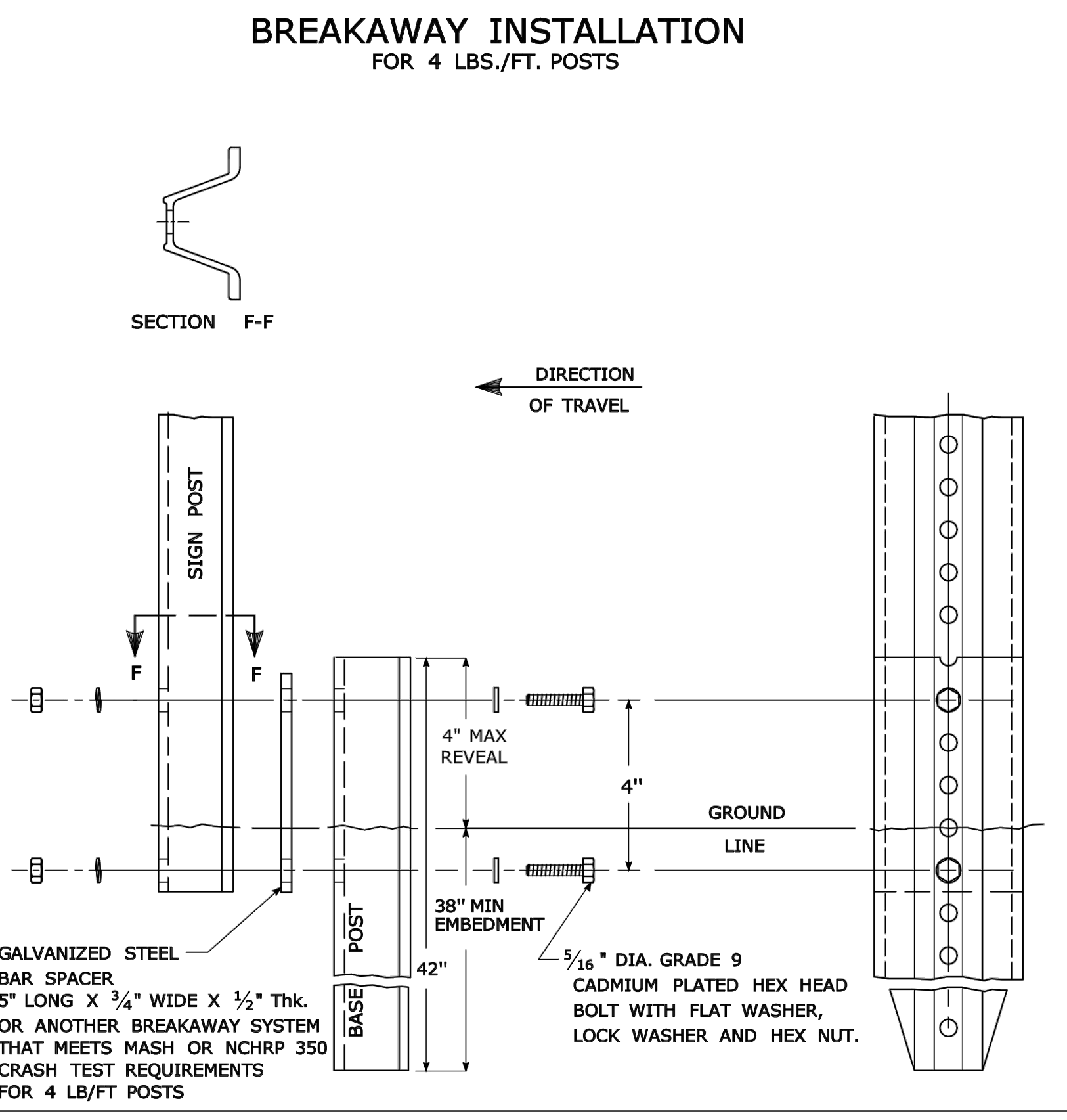
Design Speed (V _{mpg}) (mph)	ISD (ft)		
	Passenger Cars	Single-Unit Trucks	Tractor/Semitrailers
20	225	280	340
25	280	350	425
30	335	420	510
35	390	490	595
40	445	560	680
45	500	630	765
50	555	700	850
55	610	770	930
60	665	840	1015
65	720	910	1100
70	775	980	1185

Posted Speed Limit = 35 MPH



Construction Entrance
n.t.s.

- GENERAL NOTES:**
- STEEL FOR DELINEATOR POSTS SHALL BE ASTM A36 STEEL. STEEL FOR ALL OTHER POSTS SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A 499 GRADE 80 AND TO THE CHEMICAL REQUIREMENTS OF ASTM A1 CARBON STEEL TEE RAIL HAVING NOMINAL WEIGHT (MASS) OF 91 LBS. OR GREATER PER LINEAR YARD.
 - AFTER FABRICATION, ALL STEEL POSTS, STRAPS AND PLATES SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A123.
 - WASHERS FOR BREAKAWAY INSTALLATIONS SHALL MEET ASTM F436, TYPE 1.
 - SPACER BAR FOR BREAKAWAY INSTALLATION SHALL CONFORM TO THE MECHANICAL REQUIREMENTS OF ASTM A36.
 - ALL BOLTS, NUTS, AND WASHERS FOR BREAKAWAY INSTALLATIONS SHALL BE GALVANIZED TO MEET THE REQUIREMENTS OF ASTM A153.
 - ALL SIGN POSTS SHALL HAVE BREAKAWAY FEATURES THAT MEET AASHTO REQUIREMENTS CONTAINED IN THE CURRENT "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS." THE BREAKAWAY FEATURES SHALL BE STRUCTURALLY ADEQUATE TO CARRY THE SIGNS SHOWN IN THE PLANS AT 60 mph WIND LOADINGS. INSTALLATIONS SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - SIGN POSTS SHALL BE 4 LBS./FT.



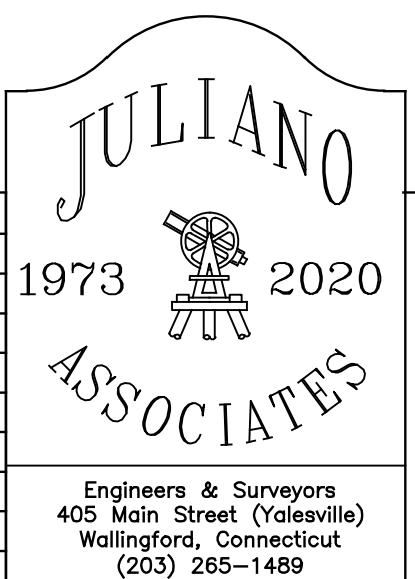
SECTION A

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Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS	
DATE	DESCRIPTION
04/30/20	AS PER DOT & TOWN STAFF REVIEW COMMENTS.
06/05/20	AS PER DOT REVIEW COMMENTS.



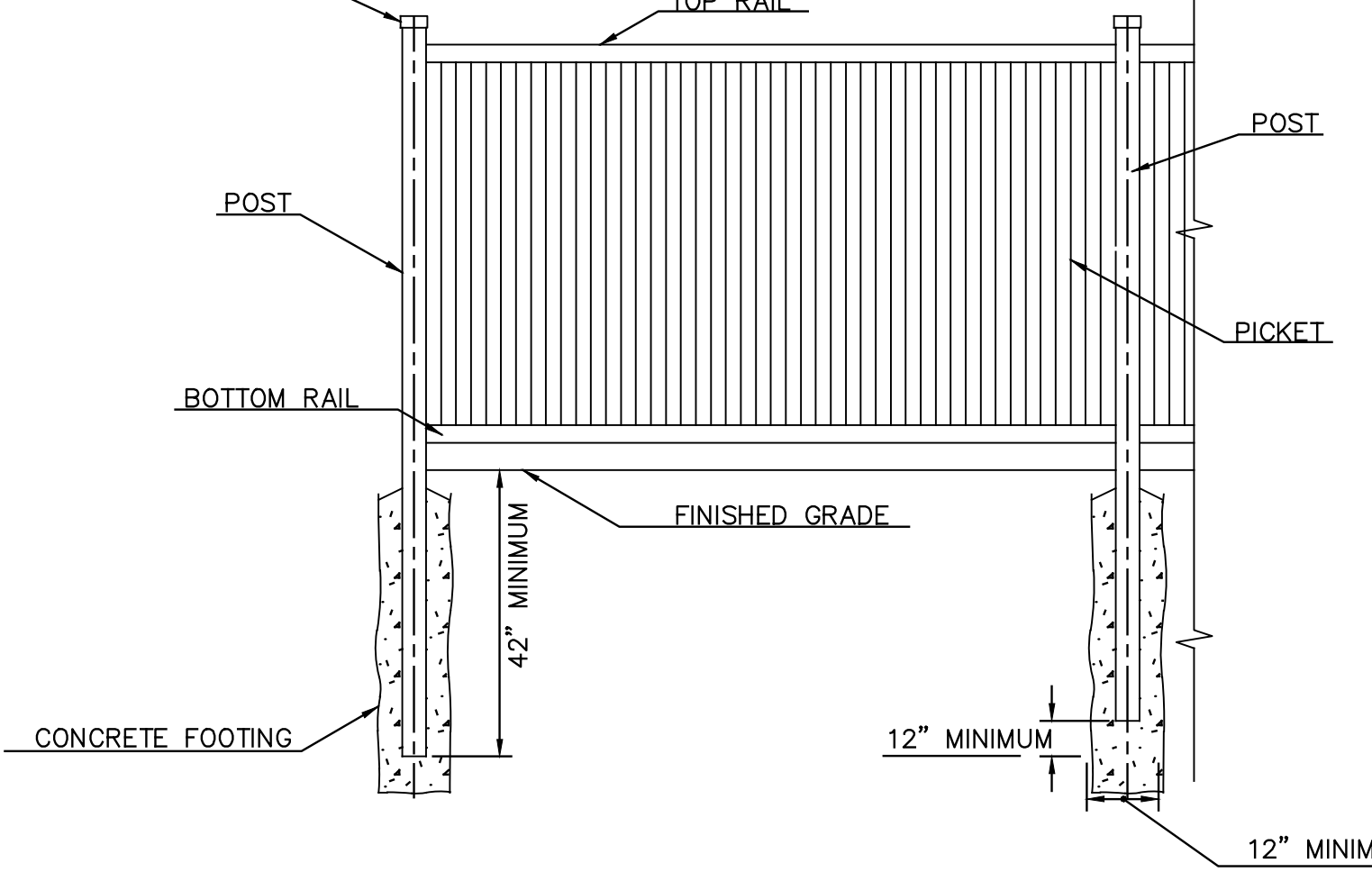
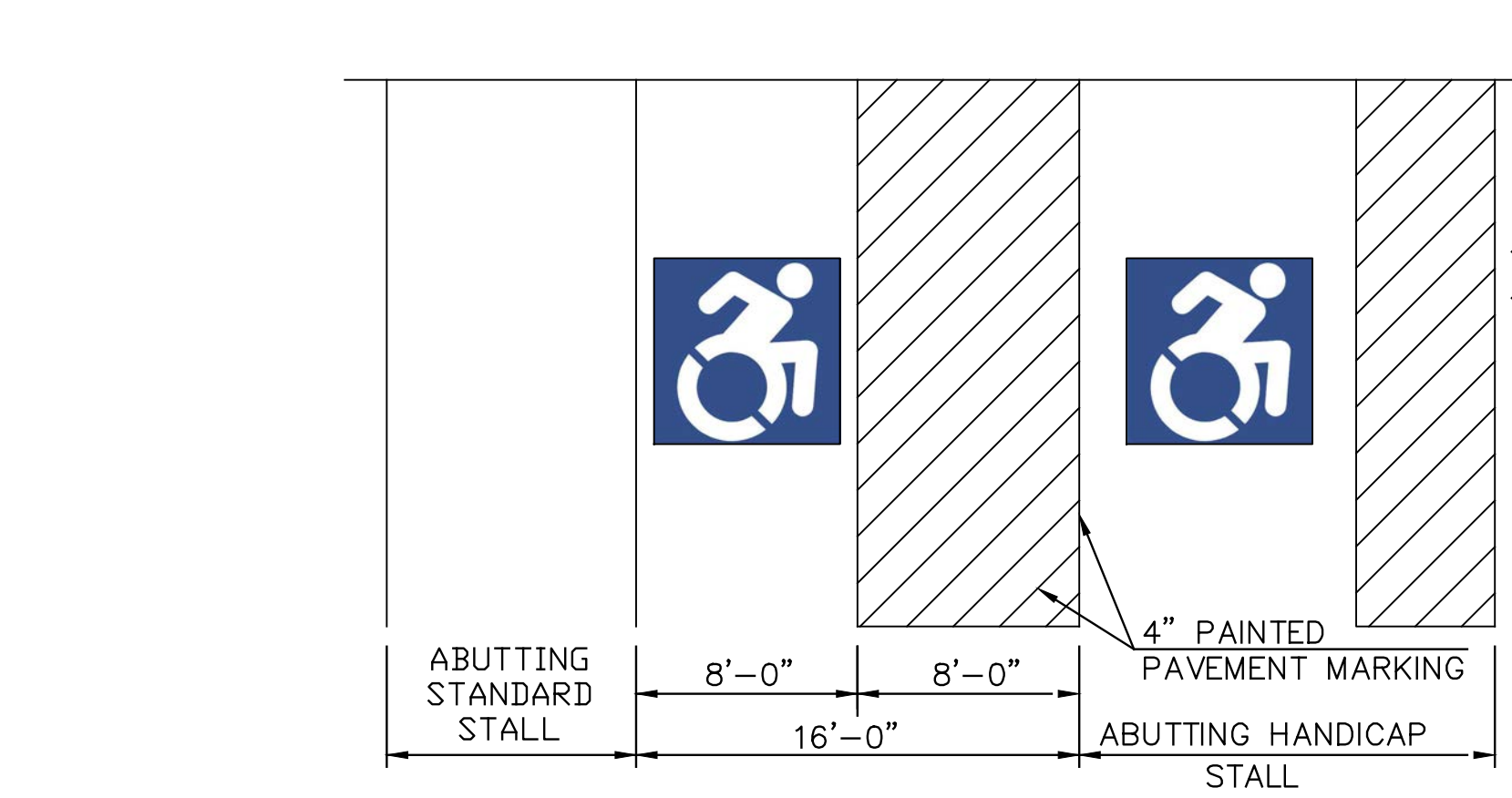
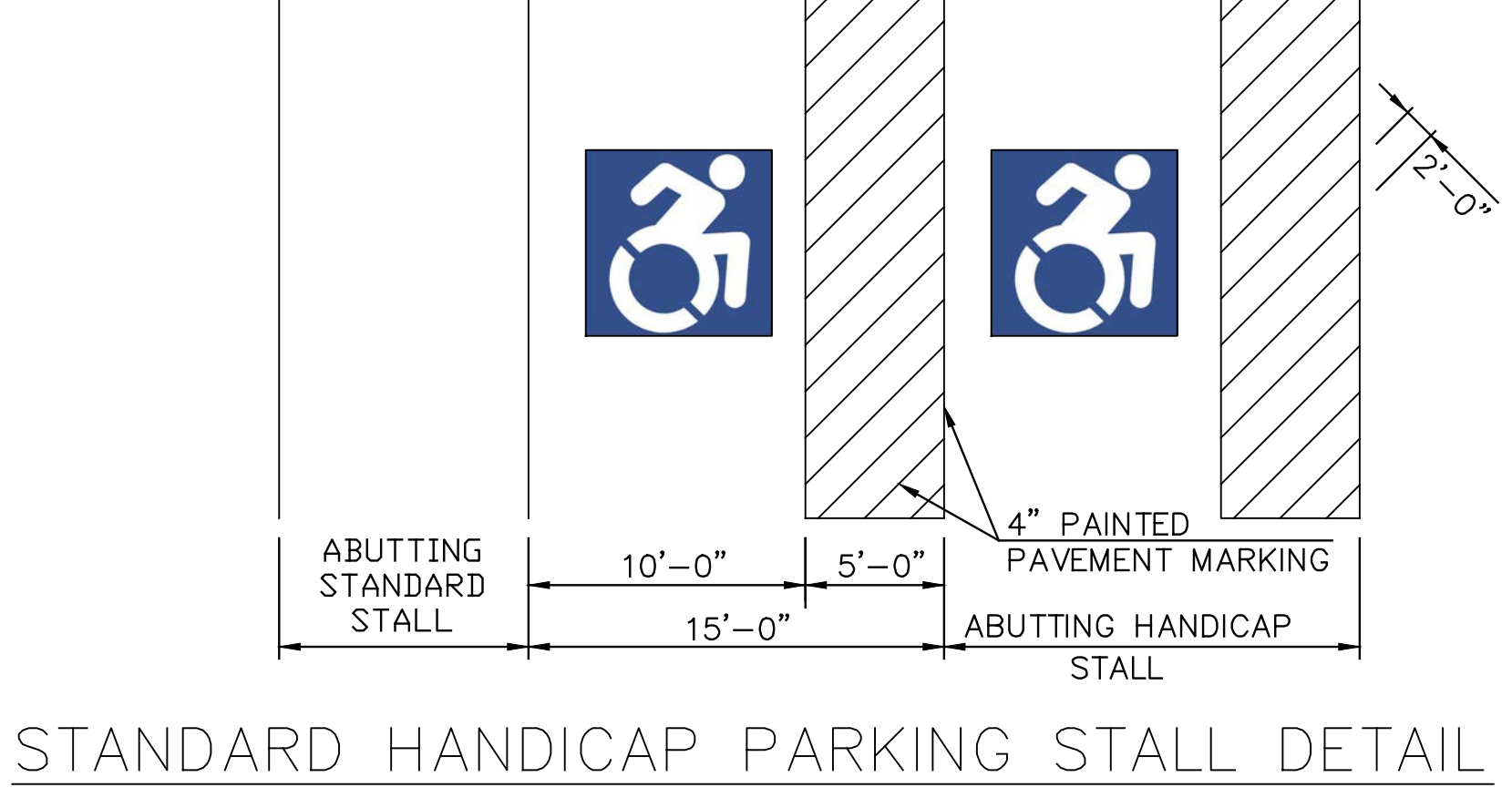
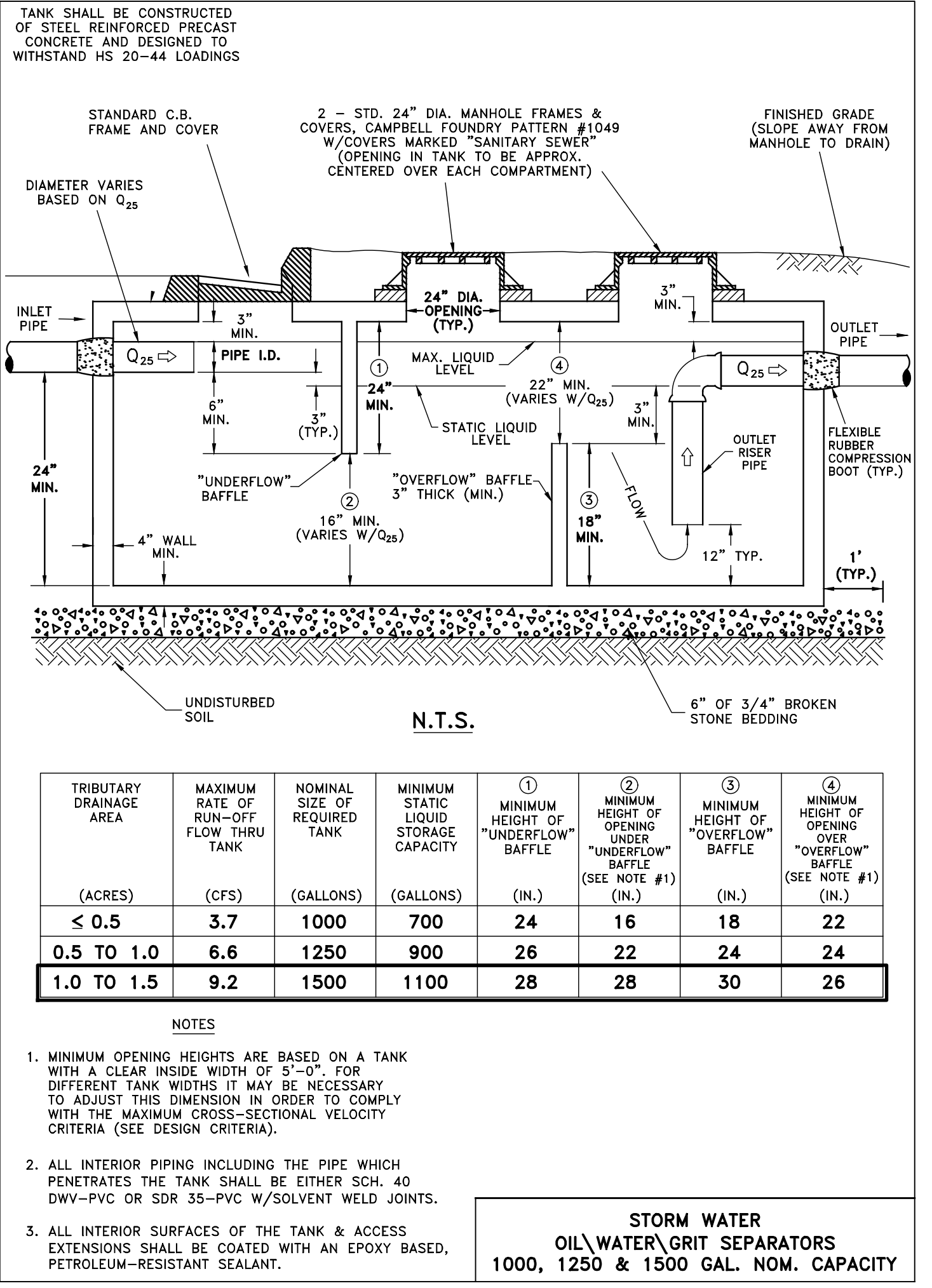
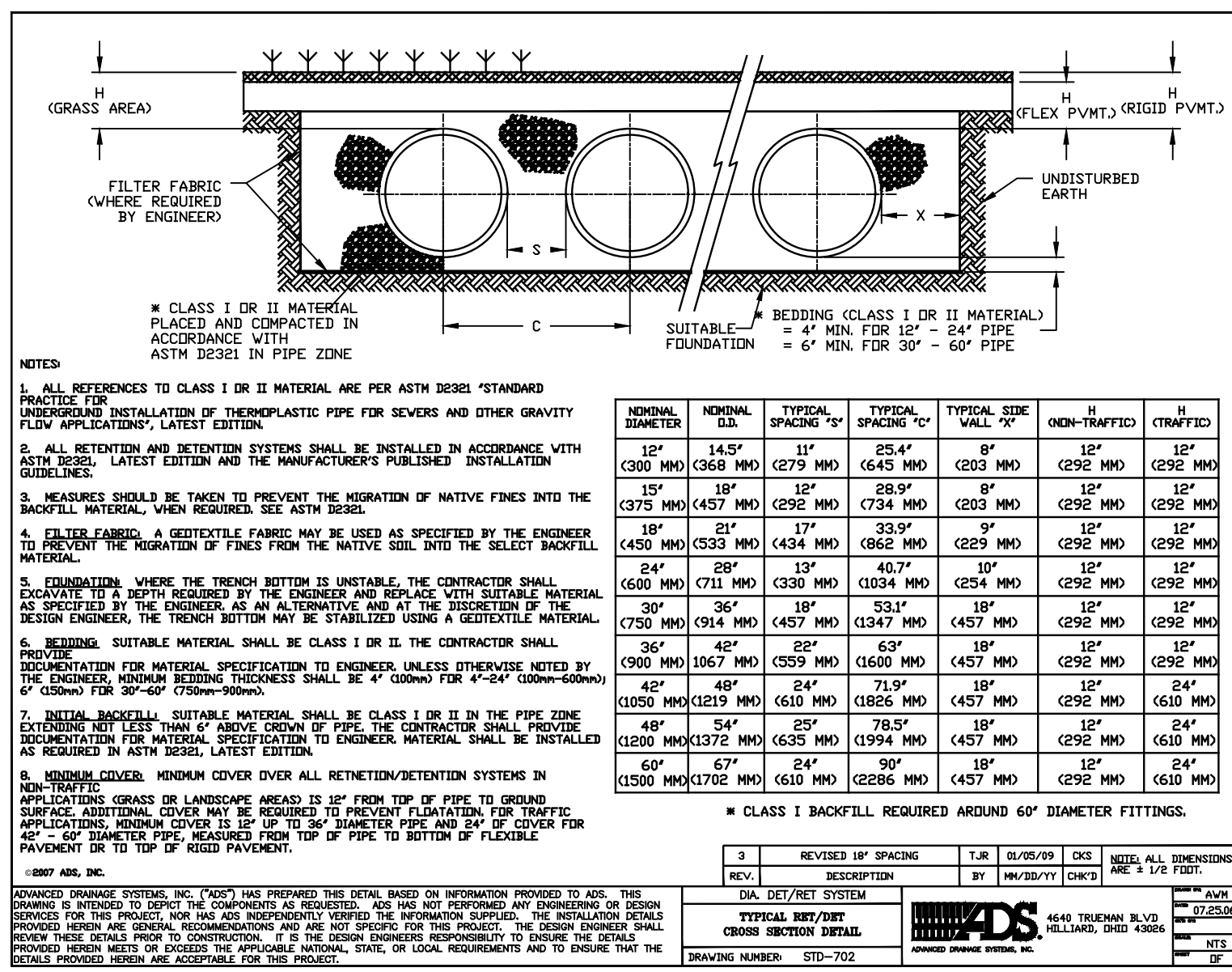
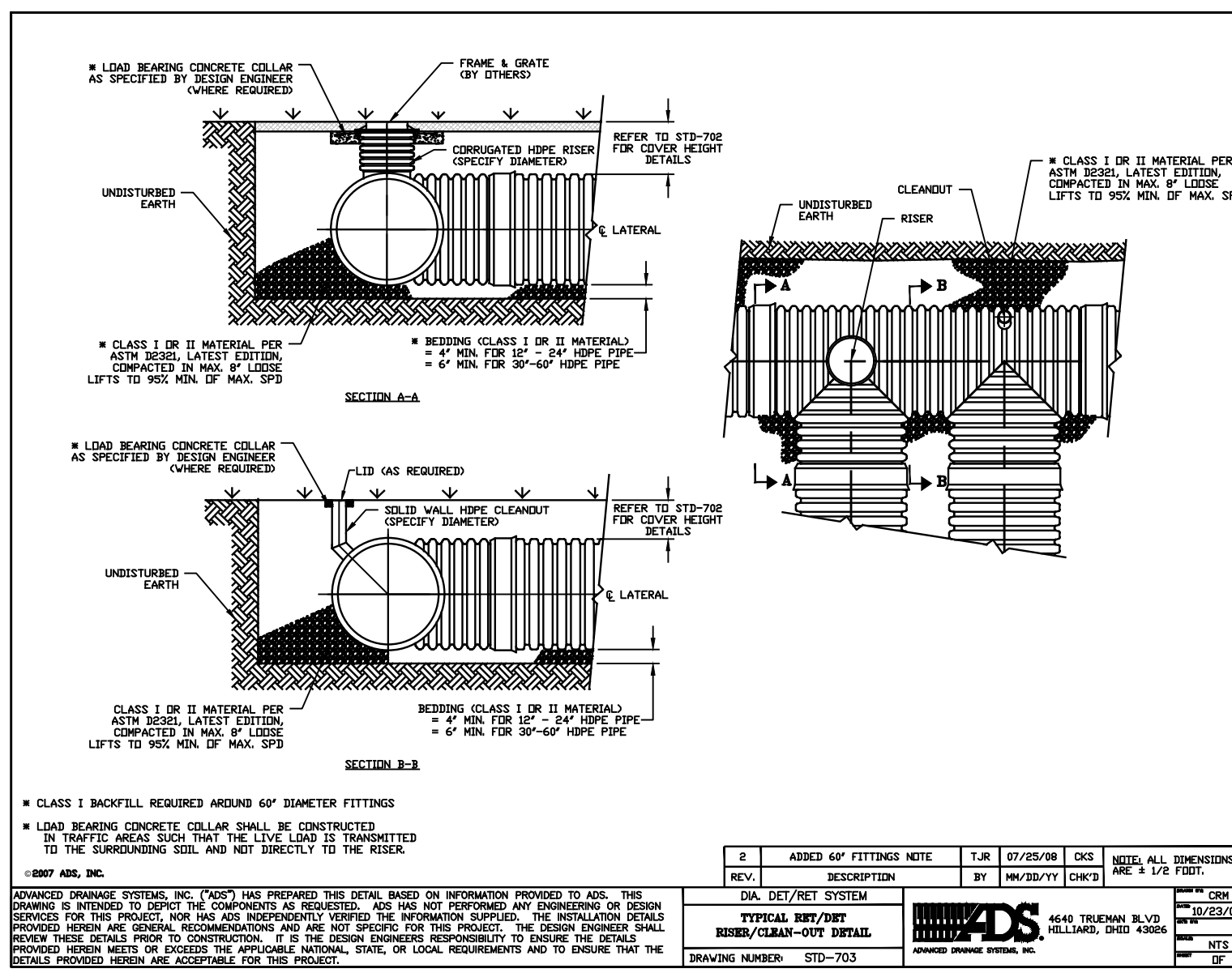
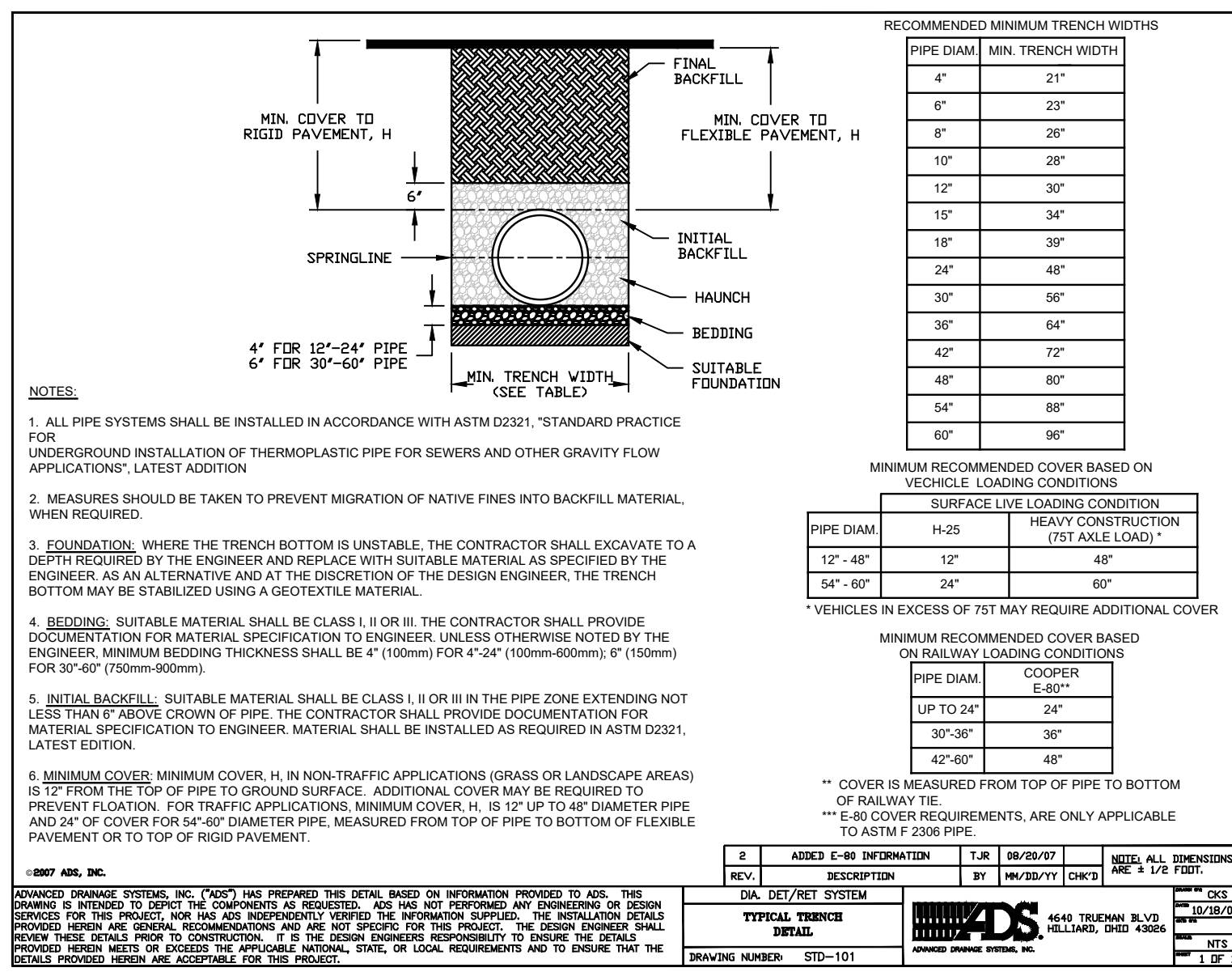
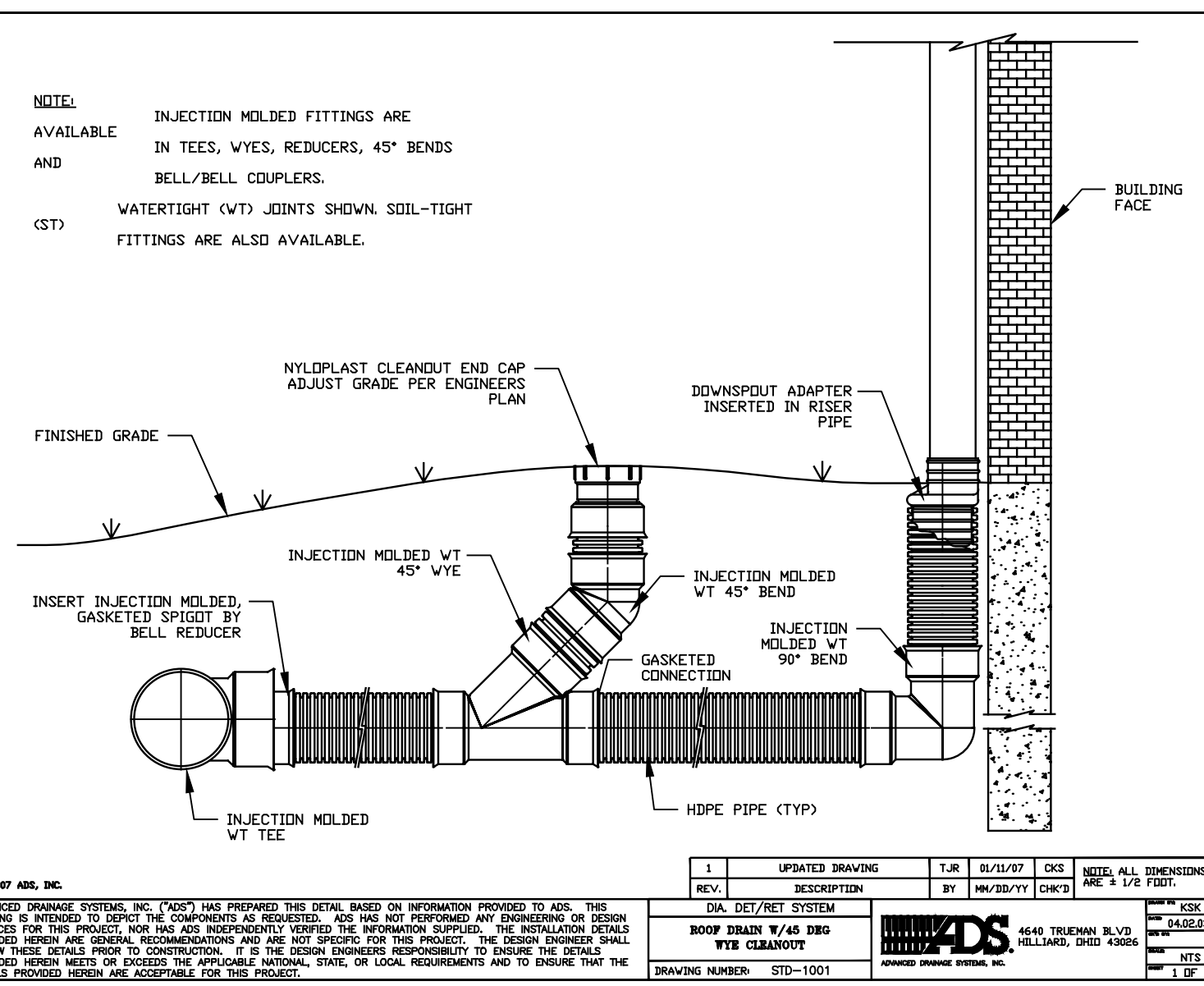
Juliano Associates, LLC
Engineers & Surveyors
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Voice (203)265-1489 Fax (203)949-1523
www.JulianoAssociates.com
JulianoAssociatesLLC@gmail.com

Curb Cut & Sight Line Analysis Plan
Proposed Residential Development

Land of
Fairway Apartments, LLC
#88 Woodhouse Avenue
Wallingford, Connecticut

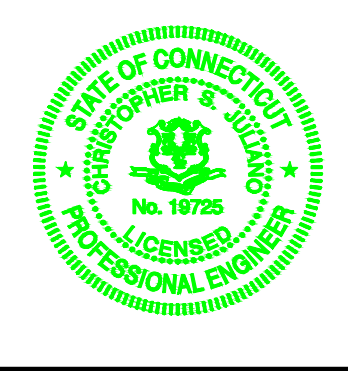
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Final map:	CJULIANO	Released:	CJULIANO	Revision:	B

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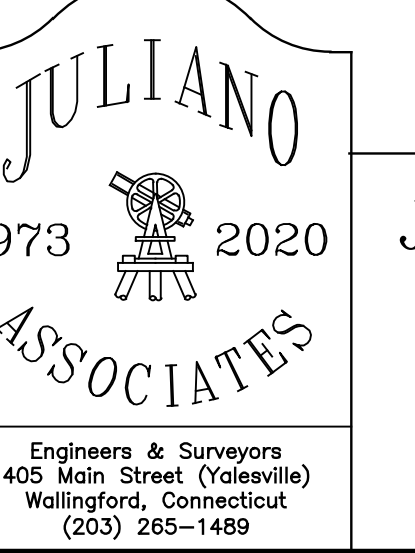


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Christopher S. Juliano PELS #19725
 Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS	
DATE	DESCRIPTION
04/30/20	AS PER DOT & TOWN STAFF REVIEW COMMENTS.



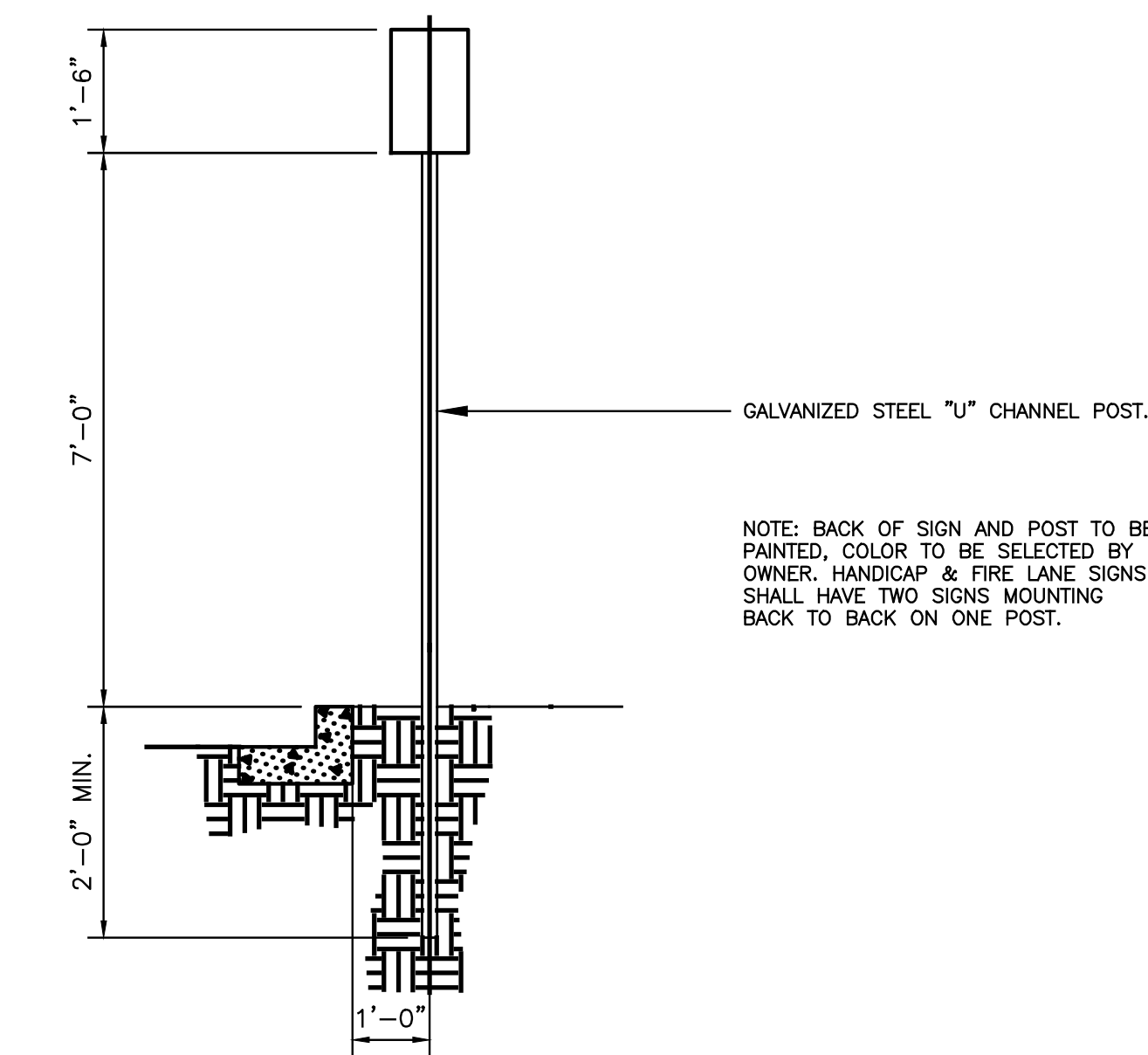
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 www.JulianoAssociates.com
 JulianoAssociatesLLC@gmail.com

Site Details
 Proposed Residential Development

Land of
 Fairway Apartments, LLC
 #88 Woodhouse Avenue
 Wallingford, Connecticut

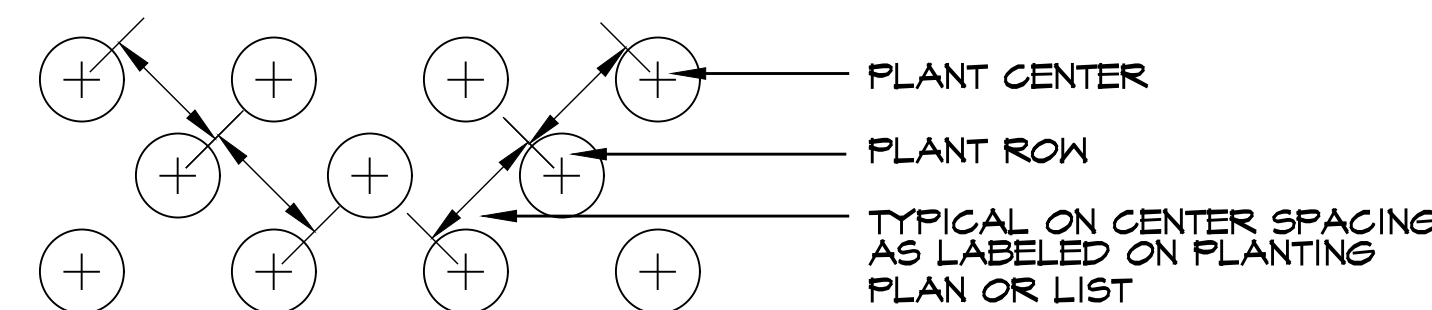
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Final map:	CJULIANO	Released:	CJULIANO	Revision:	A

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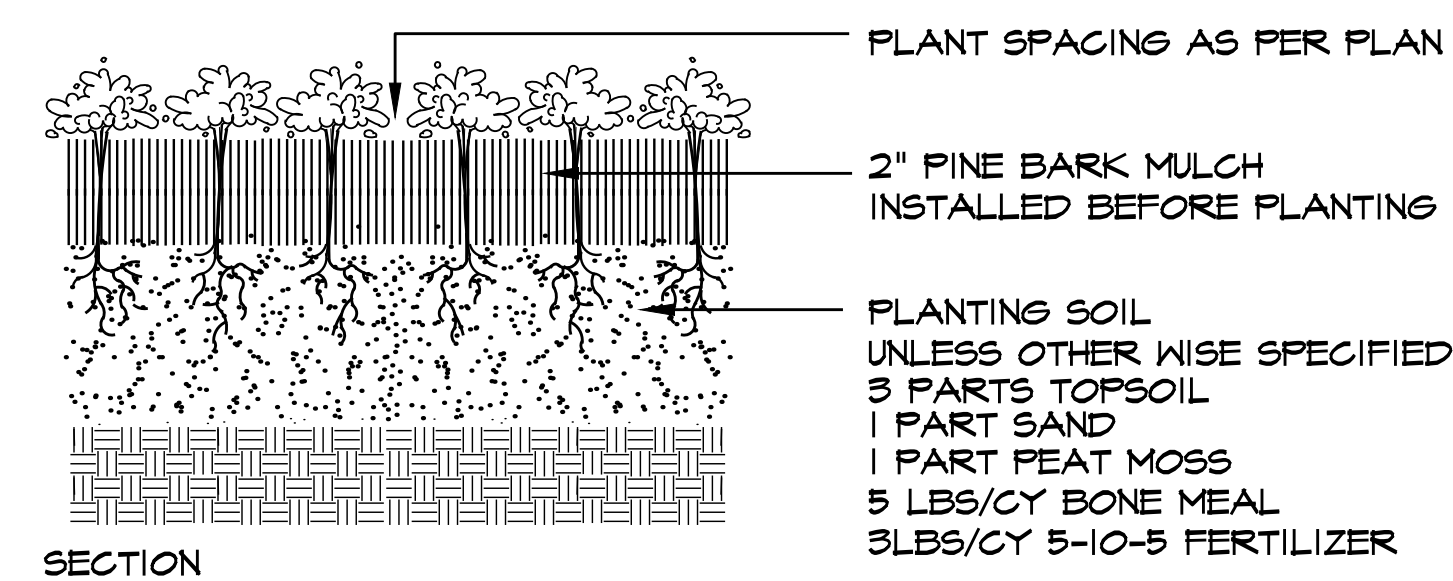


TYPICAL PARKING SIGN DETAIL

NTS



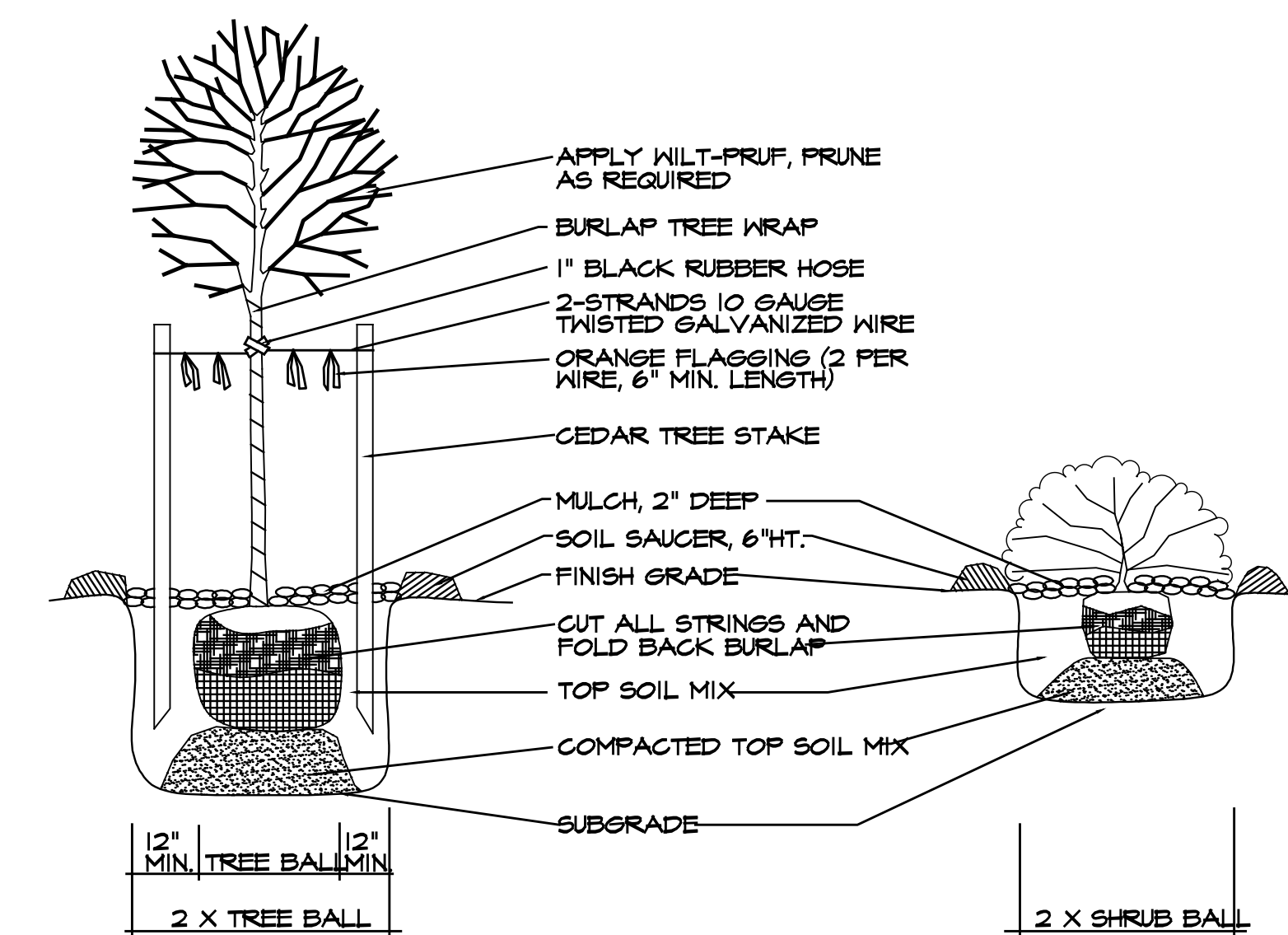
PLAN- GROUNDCOVER SPACING



SECTION

GROUNDCOVER PLANTING

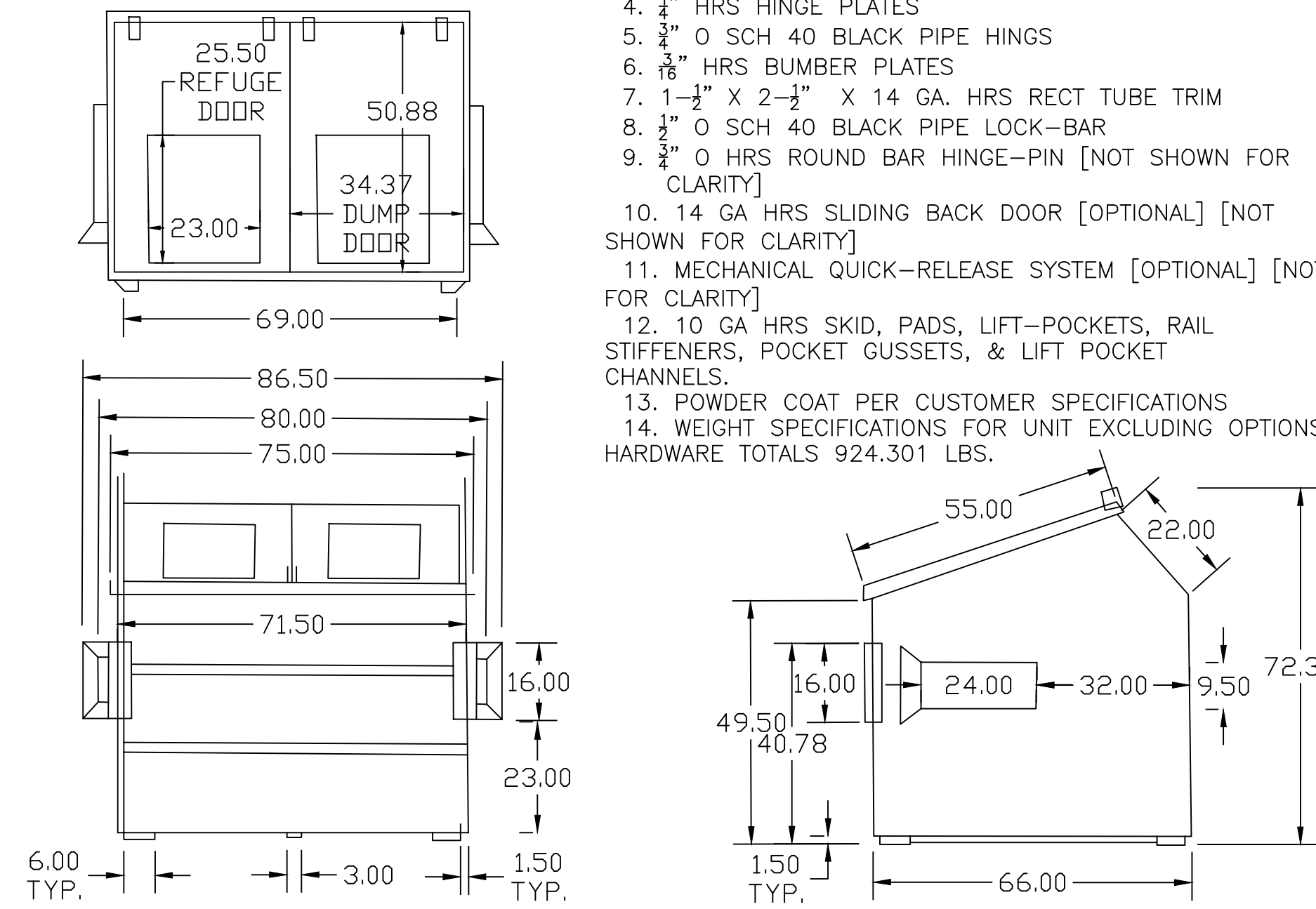
NOT TO SCALE



TREE AND SHRUB PLANTING

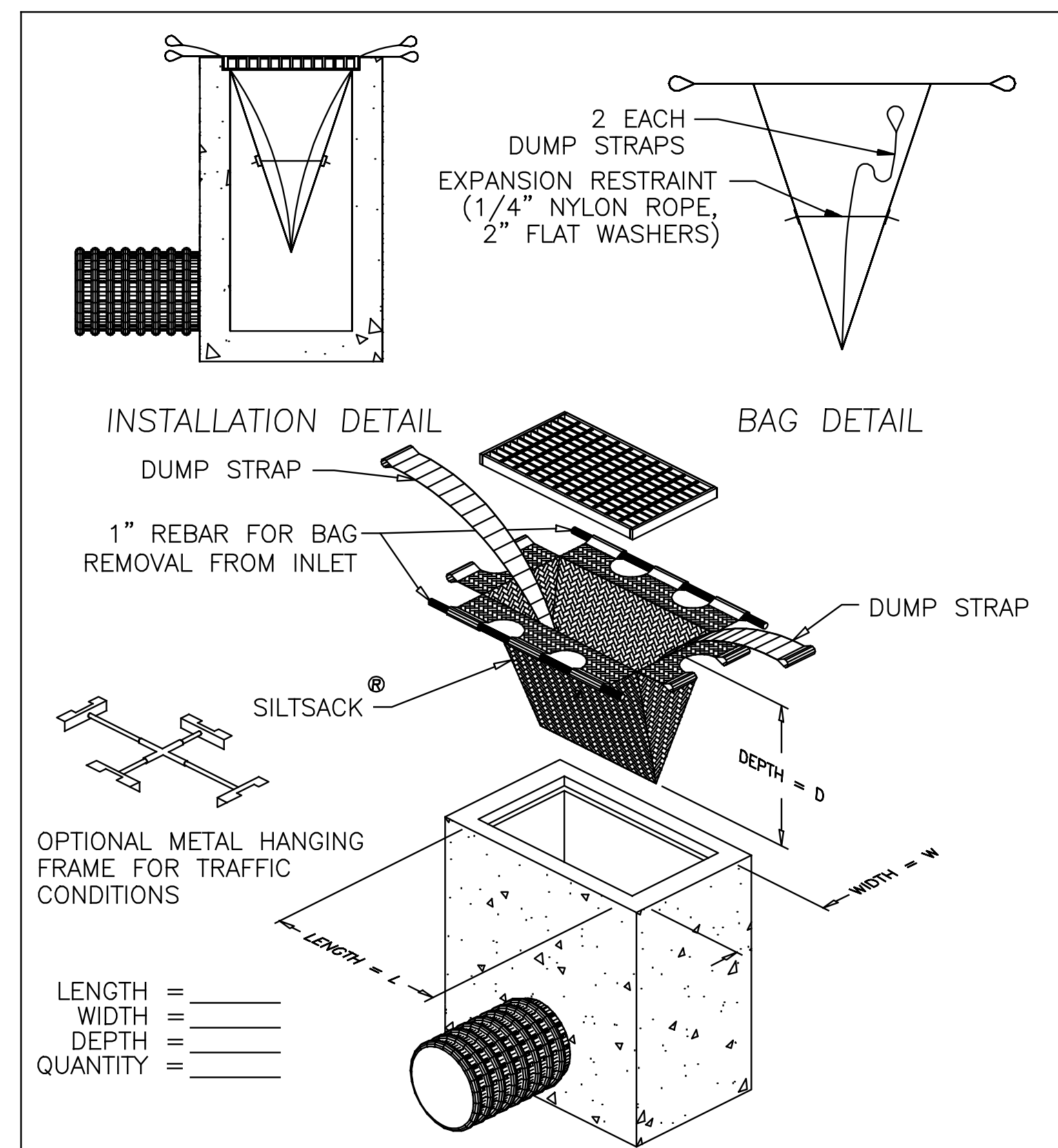
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- NOTES: UNLESS OTHERWISE SPECIFIED
- 12 GA. HRS RIBBED BODY W/ 1" DRAIN HOLE @ RIGHT SIDE (OPTIONAL)
 - 14 GA HRS BEAR-PROOF LIDS
 - 1/2" O HRS ROUND BAR HANDLES
 - 1/2" HRS HINGE PLATES
 - 1/2" O SCH 40 BLACK PIPE HINGS
 - 3/8" HRS BUMBER PLATES
 - 1-1/2" X 2-1/2" X 14 GA. HRS RECT TUBE TRIM
 - 1/2" O SCH 40 BLACK PIPE LOCK-BAR
 - 1/2" O HRS ROUND BAR HINGE-PIN [NOT SHOWN FOR CLARITY]
 - 14 GA HRS SLIDING BACK DOOR [OPTIONAL] [NOT SHOWN FOR CLARITY]
 - MECHANICAL QUICK-RELEASE SYSTEM [OPTIONAL] [NOT SHOWN FOR CLARITY]
 - 10 GA HRS SKID, PADS, LIFT-POCKETS, RAIL STIFFENERS, POCKET GUSSETS, & LIFT POCKET CHANNELS.
 - POWDER COAT PER CUSTOMER SPECIFICATIONS
 - WEIGHT SPECIFICATIONS FOR UNIT EXCLUDING OPTIONS & HARDWARE TOTALS 924.301 LBS.



TYPICAL DUMPSTER DETAILS

NTS

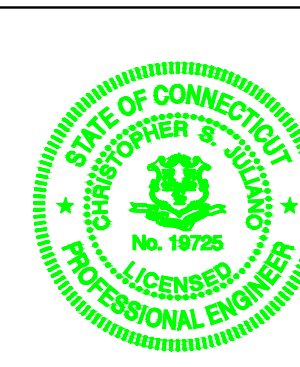


DETAIL OF INLET SEDIMENT CONTROL DEVICE

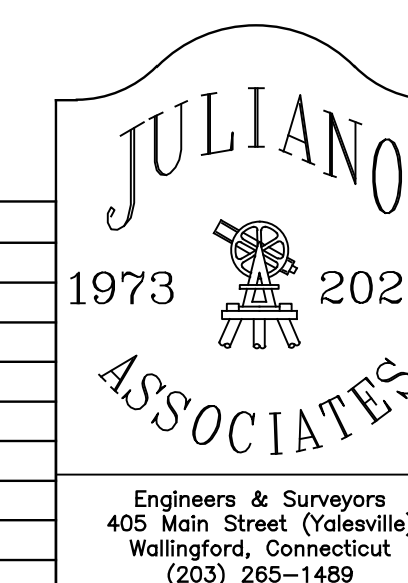
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STATE:	DATE:	DR. NO:

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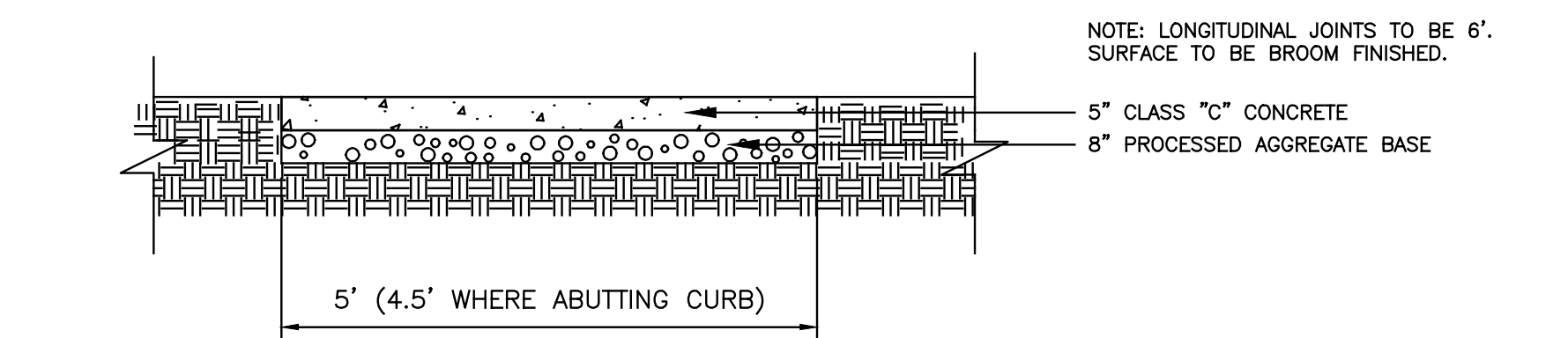
Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



REVISIONS	
DATE	DESCRIPTION

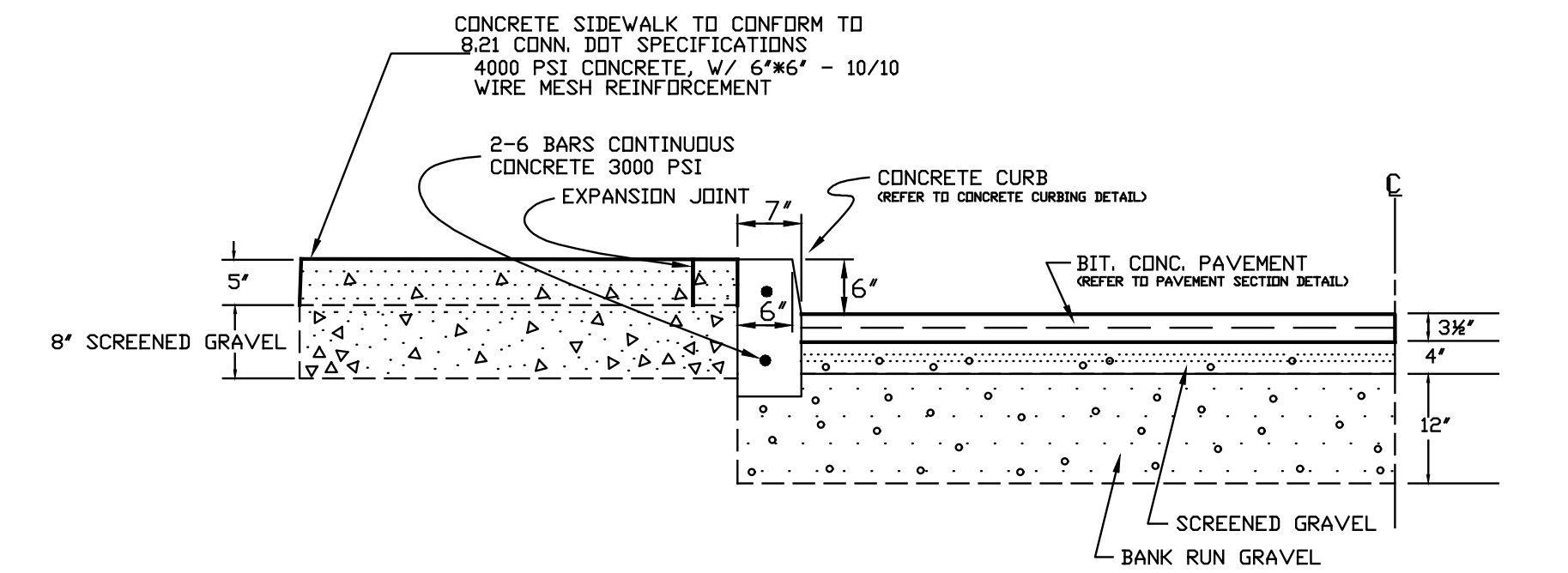


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SIDEWALK SECTION

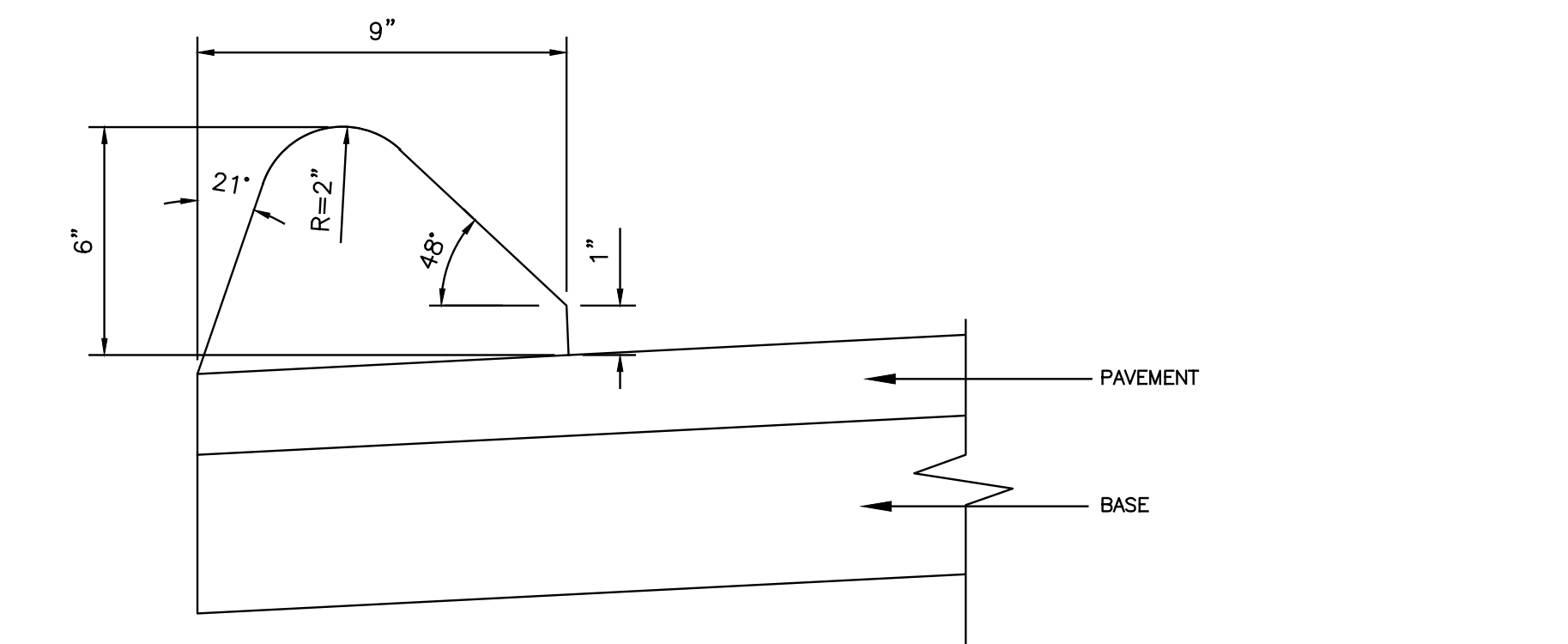
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CONCRETE CURB & SIDEWALK DETAIL

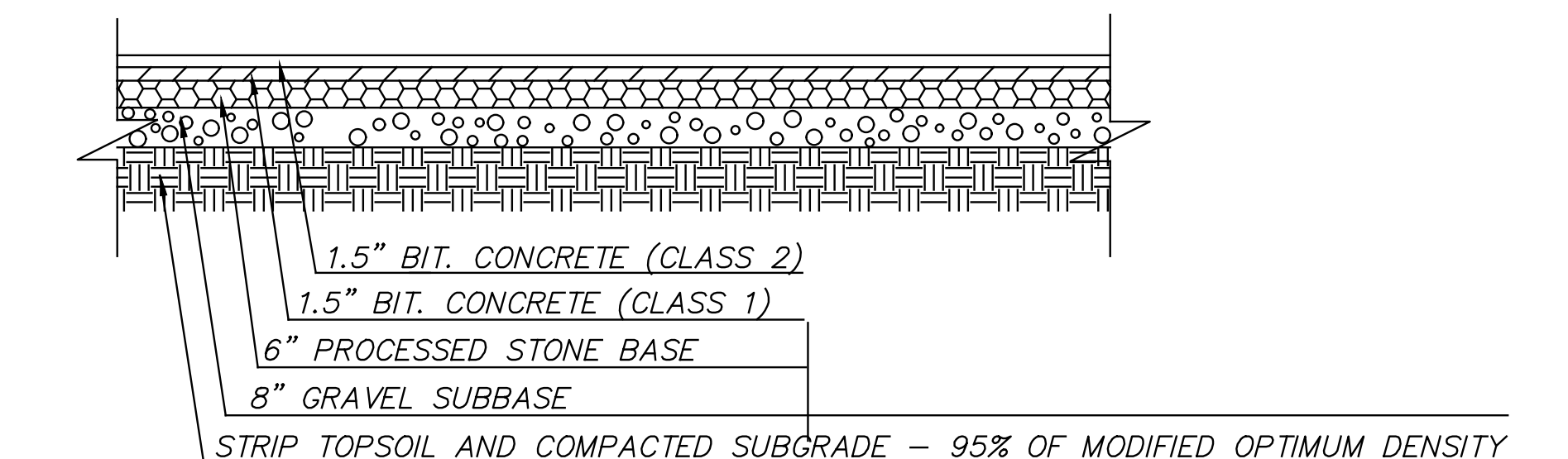
N.T.S.

NTS



BITUMINOUS CONCRETE CURB

NTS



PAVEMENT SECTION

NTS

Site Details
Proposed Residential Development

Land of
Fairway Apartments, LLC
#88 Woodhouse Avenue
Wallingford, Connecticut

Project no.:	19-210	Date:	03/23/20	Scale:	nts
Work map:	CJULIANO	Checked:	CJULIANO	Sheet:	8 of 9
Final map:	CJULIANO	Released:	CJULIANO	Revision:	0

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SEDIMENT BARRIERS

1. DEFINITION

A temporary barrier installed across or at the toe of a slope.

2. PURPOSE

To intercept and retain small amounts of sediment from disturbed or unprotected areas of limited extent.

3. APPLICABILITY

The sediment barrier is used where:

- a. Sedimentation can pollute or degrade adjacent wetland and/or watercourses.
- b. Sedimentation will reduce the capacity of storm drainage systems or adversely affect adjacent areas.
- c. Contributing drainage area is less than 1 acre and the length of slope above the barrier is less than 150 feet. If the slope length is greater, other measures such as diversions may be necessary to reduce slope length.

4. PLANNING CONSIDERATIONS

Sediment barriers may consist of filter fence, straw, hay bales, stone berms, or other filter materials. Planned lifespan of sediment barriers varies. Straw or hay bales shall only be used as a temporary barrier for no longer than 60 days. Synthetic filter fences can be used for 60 days or longer depending on their stability and manufacturer's recommendations. Stone barriers can be used for longer periods of time.

5. INSTALLATION REQUIREMENTS

a. Straw/Hay Bales

(1) Sheet Flow Applications

- (a) Bales shall be placed in a single row, lengthwise on the contour, with ends of adjacent bales tightly abutting one another.
- (b) Bales shall be wire-bound only and shall be installed so that binding does not contact the earth.
- (c) The barrier shall be entrenched and backfilled. A trench shall be excavated the width of a bale and the length of the proposed barrier to a minimum depth of 4 inches. After the bales are staked and chinked, the excavated soil shall be backfilled against the barrier. Backfilled soil shall conform to the ground level on the downhill side and shall be built up to 4 inches against the uphill side of the barrier. Ideally, bales shall be placed 10 feet away from toe of slope.
- (d) Each bale shall be securely anchored by at least two stakes driven through the bale. The first stake in each bale shall be driven toward the previously laid bale to force the bales together. Stakes shall be driven deep enough into the ground to securely anchor the bales.
- (e) Gaps between bales shall be chinked (filled by wedging) with straw to prevent water from escaping between bales. (Loose straw scattered over the area immediately uphill from a straw bale barrier tends to increase barrier efficiency.)

In sloping areas where surface flow follows the bale line, perpendicular bale checks shall be installed at appropriate intervals (100 feet maximum).

- (f) Inspection, repair and/or replacement shall be made on a continuing basis.
- (g) Bale barriers shall be removed when they have served their usefulness, but not before construction areas have been permanently stabilized.

(2) Channel Flow Applications

- (a) Bales shall be placed in a single row, lengthwise, oriented perpendicular to the channel, with ends of adjacent bales tightly abutting one another.
- (b) Specifications for installing a bale barrier for sheet flow applications apply here with the following addition:
 - 1) The barrier shall be extended to such a length that the bottoms of the end bales are higher in elevation than the top of the lowest middle bale to assure that sediment laden runoff will flow either through or over the barrier, but not around it.

(3) Catch Basin Application

- (a) Bales shall be placed in a square or rectangular shape around depressed catch basin inlets. Catch basins constructed on sloping areas should not be encircled by bales, but shall have downhill side left open.
- (b) The areas immediately around the catch basin may be excavated slightly to increase ponding of runoff water around catch basin.
- (c) Remaining specifications for installing a bale barrier for sheet flow applications apply here.

(4) Maintenance

- (a) Inspection shall be made weekly and after each storm and repair or replacement shall be made promptly as needed.
- (b) Cleanout of accumulated sediment behind the bales is necessary if 1/2 of the original height of the bales becomes filled in with sediment.

b. Filter Fences

(1) Materials

(a) Synthetic Filter Fabric

Synthetic filter fabric shall be a pervious sheet of propylene, nylon, polyester or ethylene filaments and certified by the manufacturer or supplier as conforming to the following requirements:

Physical Property	Requirements
Filtering Efficiency	75% (min.)
Tensile Strength at 20% (max.) Elongation	Extra Strength 50 lbs./lin. inch (min.) Standard Strength 30 lbs./lin. inch (min.)
Flow Rate	0.3 gal./sq. ft./min (min.)

(b) Burlap shall be 10 ounce per square yard fabric.

(c) Stakes for filter fences shall be 1" x 2" wood or equivalent metal with a minimum length of 3 feet.

Where additional strength is required, posts for filter fences shall be either 2 x 3 or 2 x 4 inch wooden studs or 0.5 (min.) pounds/linear foot steel with a minimum length of 5 feet. Steel posts shall have projections for fastening wire.

(d) Wire fence reinforcement for silt fences using standard strength filter cloth shall be a minimum of 42 inches in height, a minimum of 14 gauge and shall have a maximum mesh spacing of 6 inches.

Some silt fences do not require a wire backing. Consult manufacturer's instructions for proper installation requirements.

(2) Installation Requirements

This sediment barrier utilizes burlap, standard or extra strength synthetic filter fabrics. It is designed for situations in which only sheet or overland flows are expected. In special cases burlap may be used in drainageways.

- (a) The height of the barrier shall not exceed 36 inches. (Higher barriers may impound volumes of water sufficient to cause failure of the structure.) Ideally the filter fence shall be placed 10 feet away from the toe of slope.
- (b) When joints are necessary, filter cloth shall be spliced together only at a support post, with a minimum 6 inch overlap, and securely sealed. See manufacturer's recommendations.
- (c) Posts shall be spaced a maximum of 10 feet apart at the barrier location and driven securely into the ground (minimum of 12 inches). When extra strength fabric is used without the wire support fence, space posts as manufacturer recommends.

- (d) A trench shall be excavated approximately 6 inches wide and 6 inches deep along the line of posts as manufacturer recommends.
- (e) When standard strength filter fabric is used, a wire mesh support fence shall be fastened securely to the upslope side of the posts using heavy duty wire staples at least 1 inch long, the wires or hog rings. The wire shall extend into the trench a minimum of 2 inches and shall not extend more than 36 inches above the original ground surface.
- (f) The standard strength filter fabric shall be stapled, wired or tied to the wire fence, and 8 inches of the fabric shall be extended into the trench. The fabric shall not extend more than 36 inches above the original ground surface. Filter fabric shall not be stapled to existing trees.

- (g) When extra strength filter fabric or burlap and closer post spacing are used, the wire mesh support fabric is stapled, wired or tied directly to the posts with all specifications of (f) above applying.
- (h) The trench shall be backfilled and the soil compacted over the filter fabric.
- (i) Filter barriers shall be removed when they have served their useful purpose, but not before the upslope area has been permanently stabilized.

(3) Maintenance

- (a) Filter barriers shall be inspected immediately after each rainfall and at least daily during prolonged rainfall. Any required repairs shall be made immediately.
- (b) Should the fabric decompose or become ineffective, the fabric shall be replaced promptly.
- (c) Sediment deposits shall be removed when they reach approximately one-half the height of the barrier.
- (d) Any sediment deposits remaining in place after the silt fence or filter barrier is not longer required shall be dressed to conform to the existing grade, prepared and seeded.

c. Stone Barrier

The stone shall meet ASTM C-33 size no. 2 or 3 (3" or 2-1/2").

(1) Installation Requirements

- (a) The stone shall be piled to a natural angle of repose with a height of at least 2 feet.
- (b) The barrier shall be constructed so water cannot bypass the barrier around the ends

(2) Maintenance

- (a) Inspection shall be frequent and repair and/or replacement made promptly as needed.
- (b) The barrier shall be removed when it has served its usefulness so as not to block or impede storm flow or drainage.

d. Vegetative Filter

Vegetative filters shall be used to filter sediment from overland flow only where concentrations of sediment and rates of runoff are low.

(1) Installation Requirements

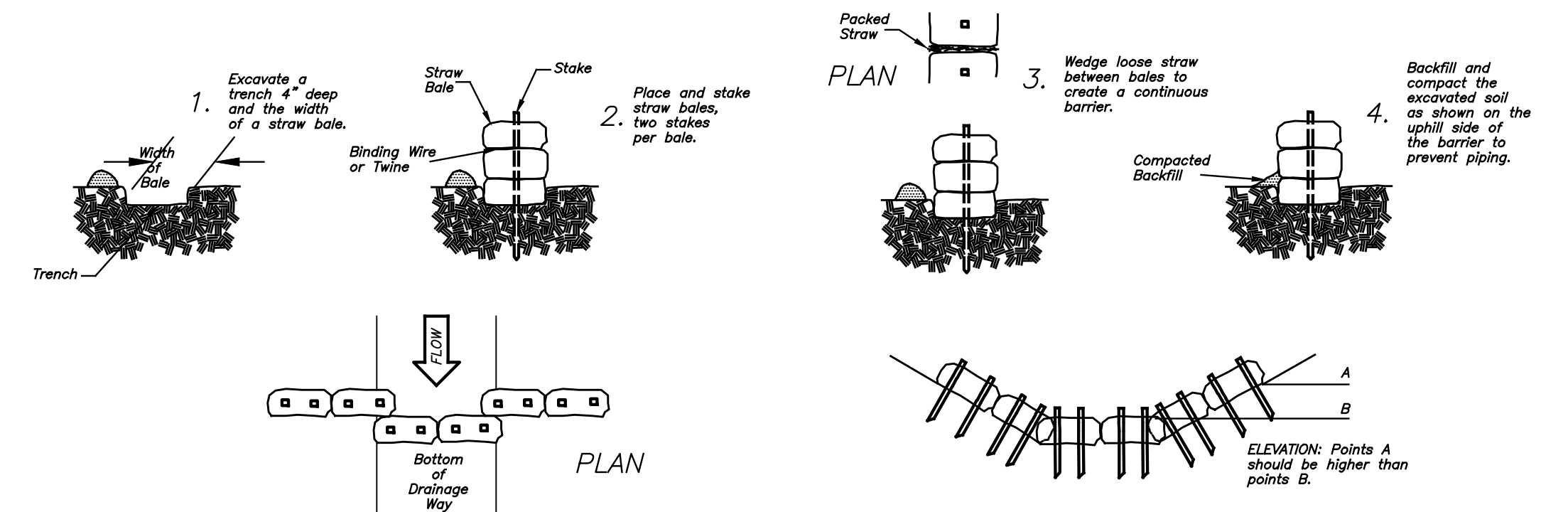
The minimum width of the filter strip shall be at least 15 feet.

The width of the filter strip shall be increased proportionately for slopes longer than 150 feet or for higher sediment concentrations. When using filter strips at inlets to storm sewers, as large an area as possible shall be provided. Filters shall be placed along the contours whenever possible. No construction shall be allowed within filter strip areas.

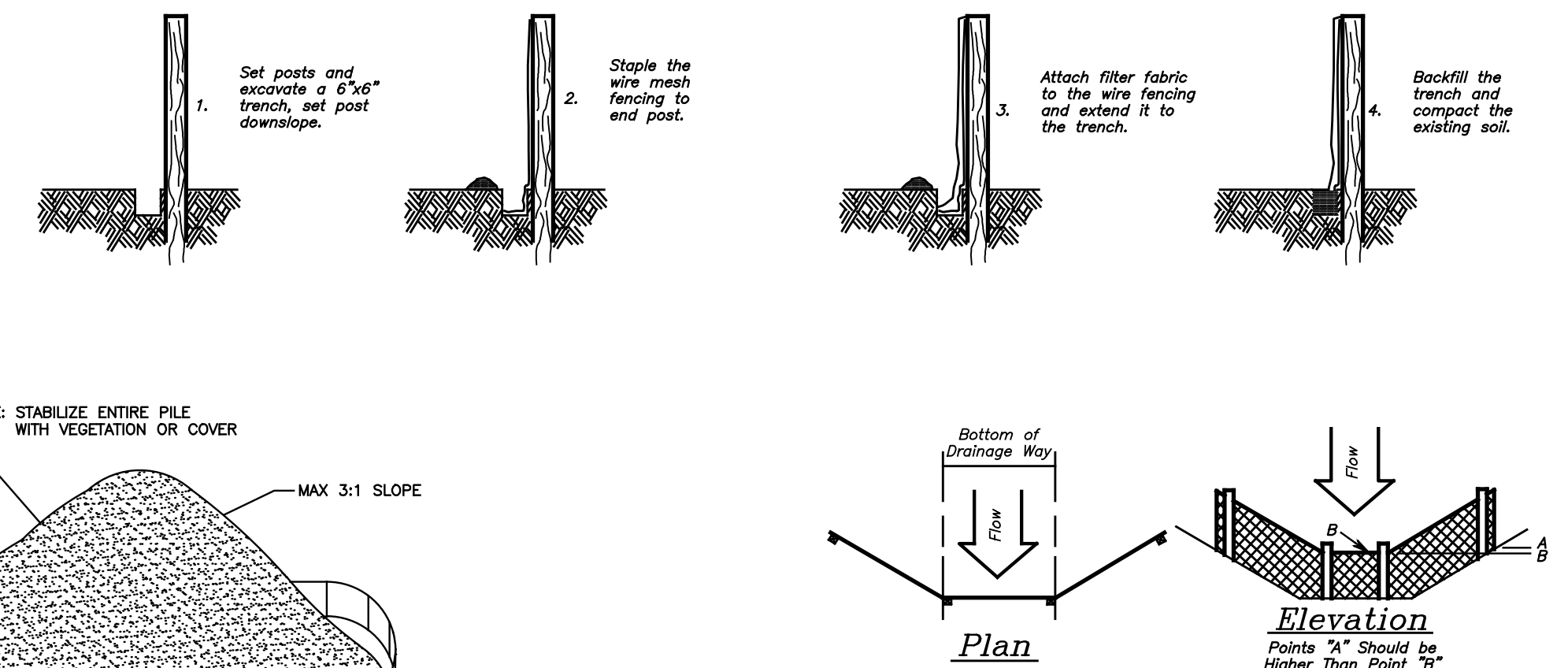
Vegetation must be adapted to sediment producing areas. Either existing or established vegetation must be healthy and have a vigorous growth habit. Establishing vegetation by seed or sodding shall be done in accordance with the specifications for Permanent Vegetative Cover or Sodding and shall be established prior to land disturbance.

(2) Maintenance

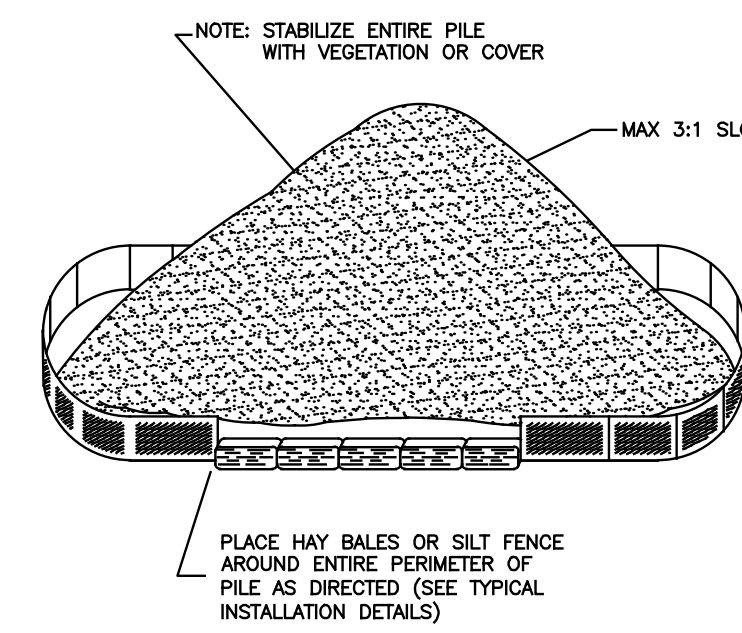
Maintenance of vegetative filter strips is the same as that recommended for any vegetation as specified in Permanent Vegetative Cover. A healthy growth of vegetation can best be maintained by fertilizing, removing sediment when the filter becomes clogged, and by preventing construction traffic from driving upon or across filter strips.



Placement and Construction of a Hay Bale Barrier



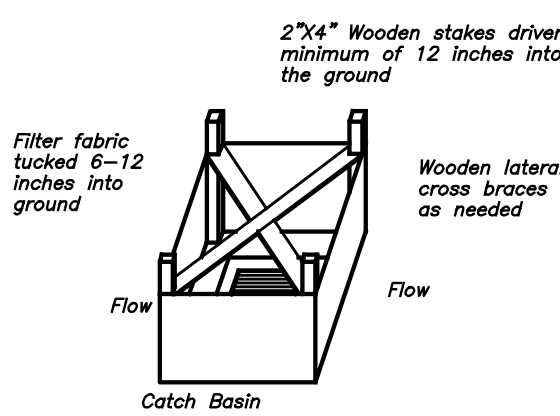
Placement and Construction of a Synthetic Filter Barrier



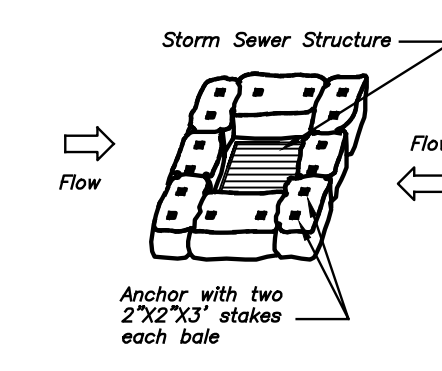
- INSTALLATION NOTES:**
- 1. AREA CHOSEN FOR STOCKPILE OPERATION SHALL BE DRY AND STABLE.
 - 2. THE GROUND SURFACE SHALL SLOPE AWAY FROM THE STOCKPILE.
 - 3. IF NECESSARY, PLACE TARP OR IMPERVIOUS MATERIAL BENEATH STOCKPILE TO PREVENT MIXING OF SOIL.
 - 4. COVER STOCKPILE WITH FABRIC OR VEGETATION AS DIRECTED.
 - 5. MAX SLOP OF STOCKPILE SHALL BE 3:1 (H:V) UNLESS OTHERWISE APPROVED.

NTS

TEMPRARY SOIL STOCKPILE

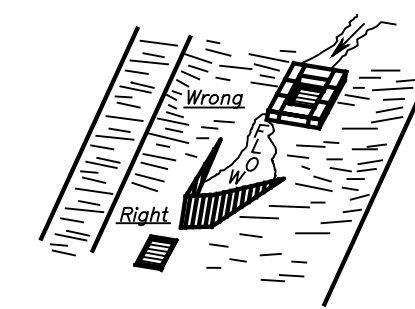


Silt Fence Installation At Catch Basin

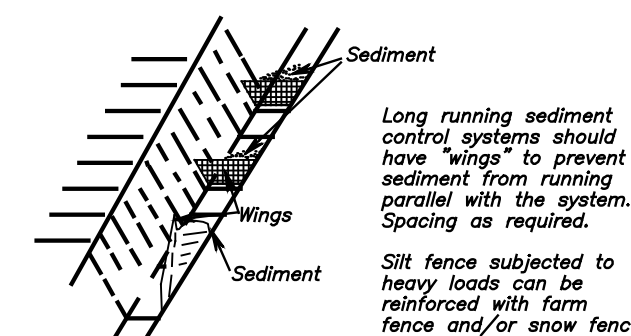


Haybale Installation At Catch Basin

Basins on sloping roads should not be ringed. Bales or silt fence should be placed in a configuration to contain flow without "end runs." Containments should be up slope of basin.



Catch Basin



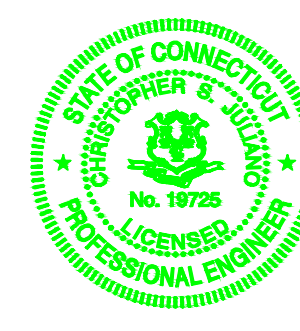
Sediment Control Fence

REVISIONS

DATE	DESCRIPTION

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Christopher S. Juliano PELS #19725
Matthew M. Niski PE #31777 James V. DiMeo PE #32551



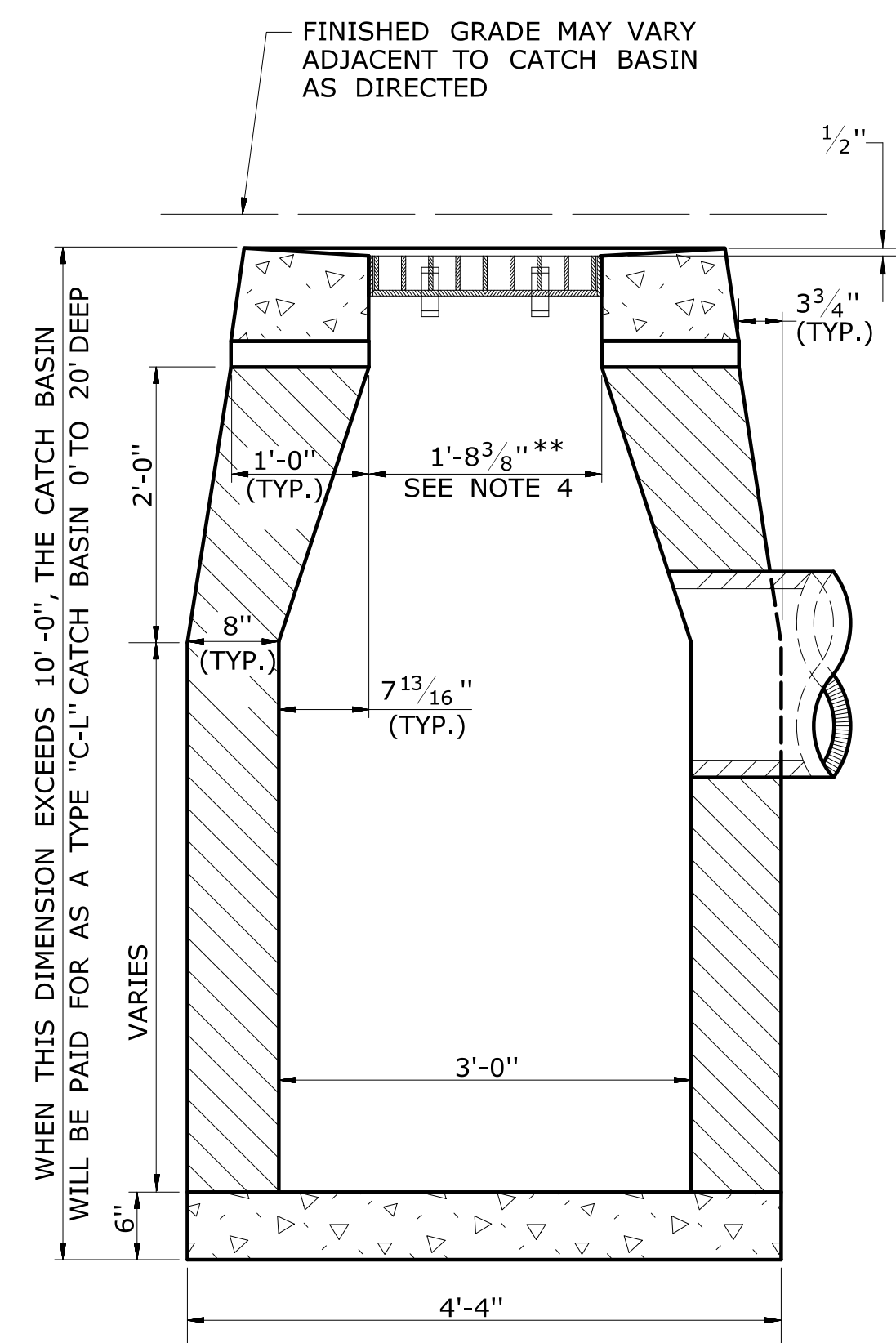
Juliano Associates, LLC
Engineers & Surveyors
405 Main Street (Yalesville)
Wallingford, Connecticut 06492
Voice (203)265-1489 Fax (203)949-1523
www.JulianoAssociates.com
JulianoAssociatesLLC@gmail.com

**Erosion Control Specifications & Details
Proposed Residential Development**

Land of
Fairway Apartments, LLC
#88 Woodhouse Avenue
Wallingford, Connecticut

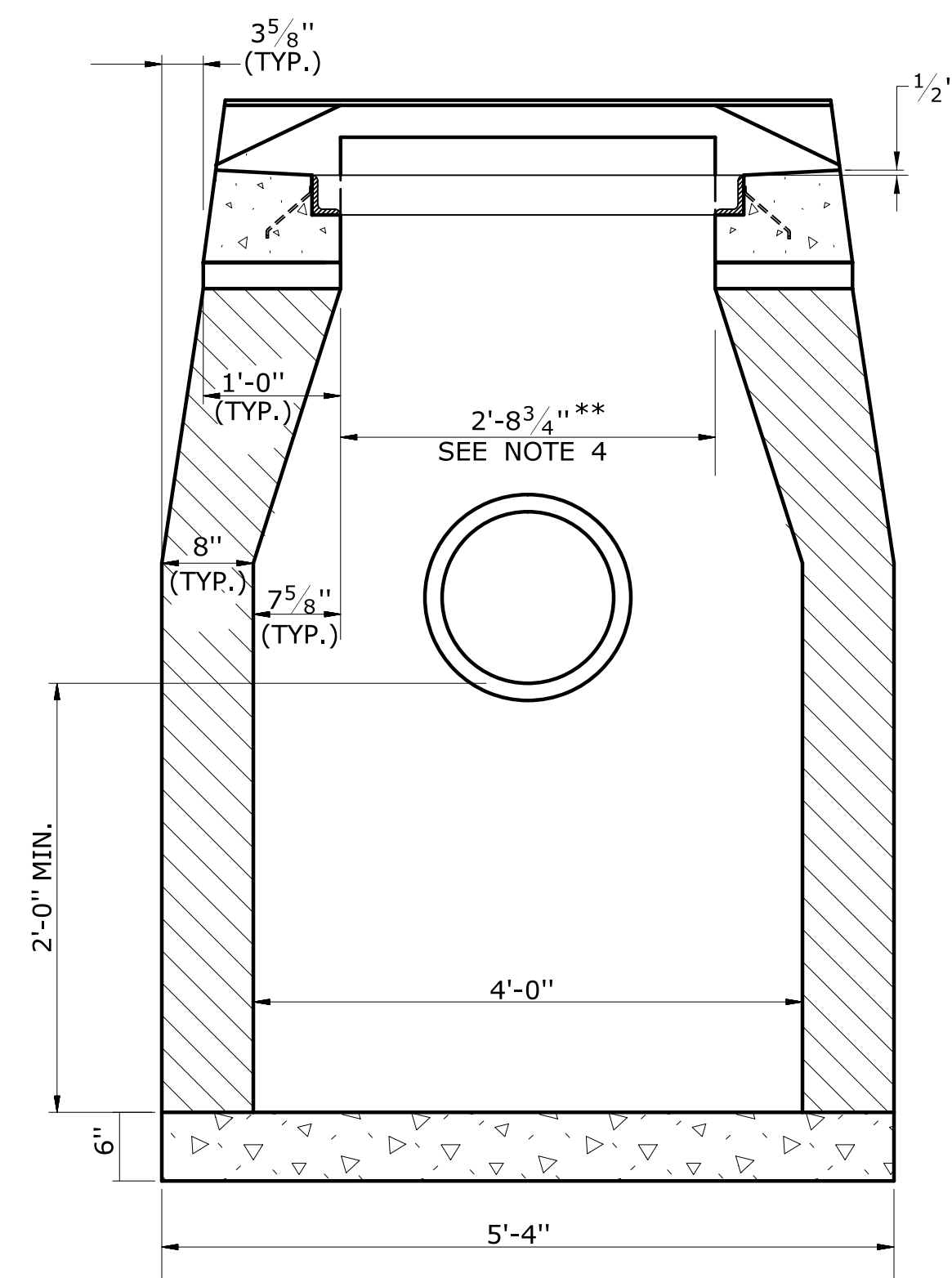
Project no.:	19-210	Date:	03/23/20	Scale:	nts
Work map:	CJULIANO	Checked:	CJULIANO	Sheet:	9 of 9
Final map:	CJULIANO	Released:	CJULIANO	Revision:	0

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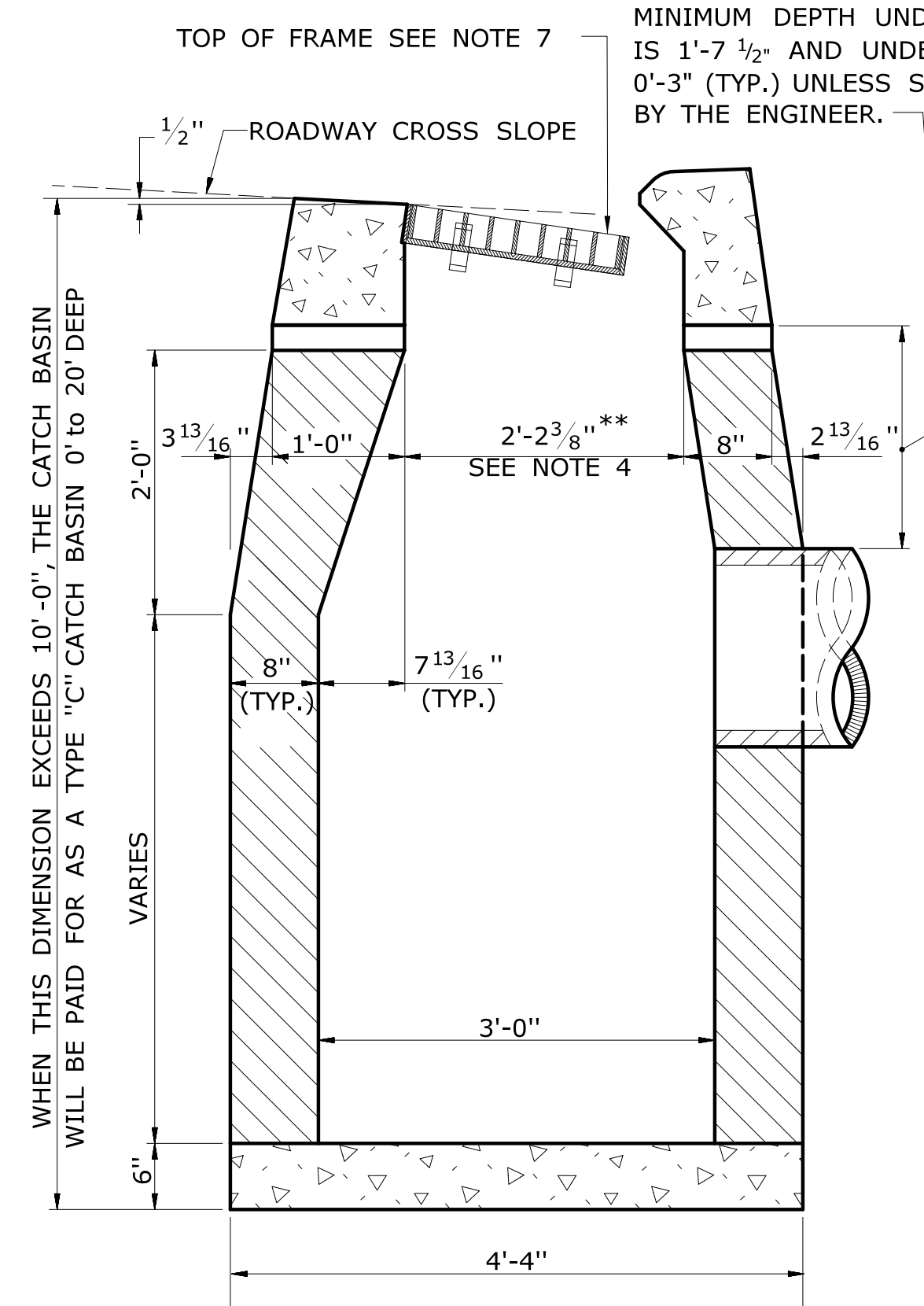
SECTION B

TYPE "C-L" CATCH BASIN



SECTION A

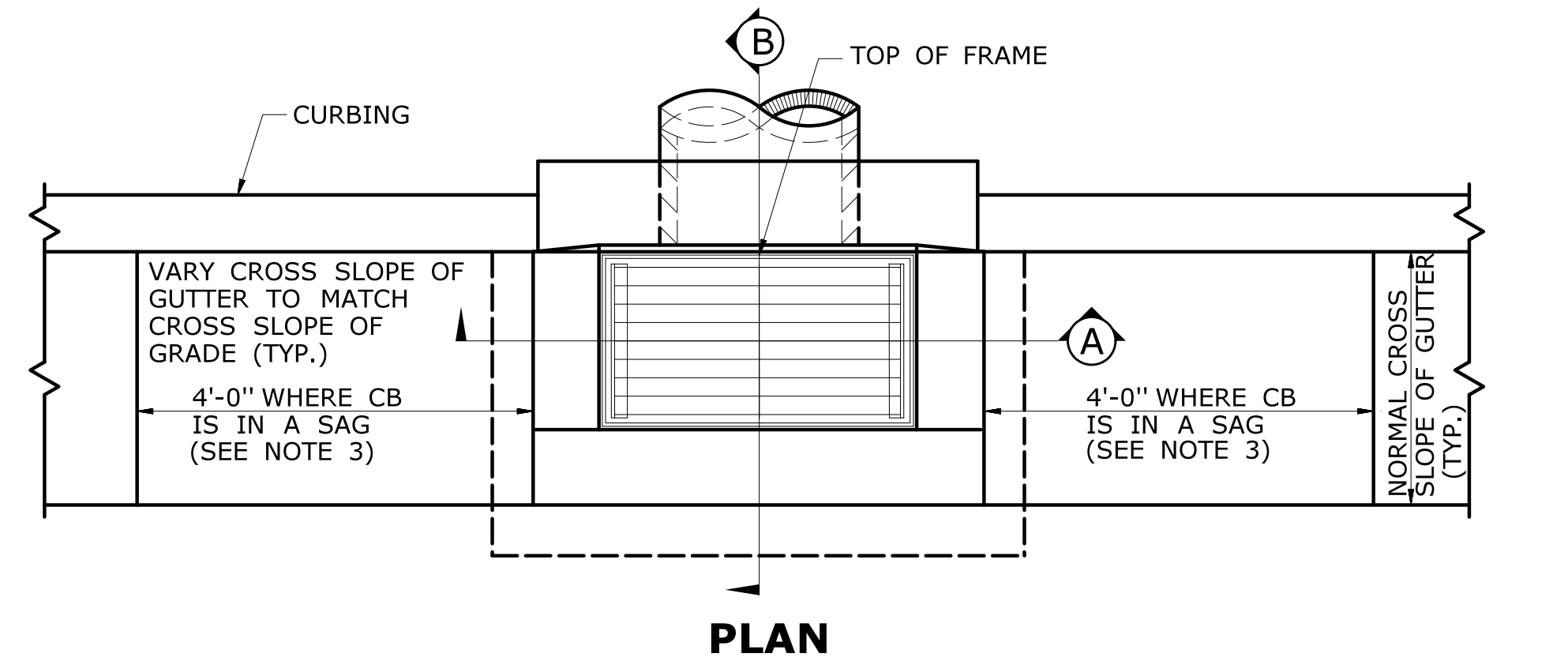
TYPE "C" & "C-L" CATCH BASIN
(TYPE "C" TOP SHOWN)



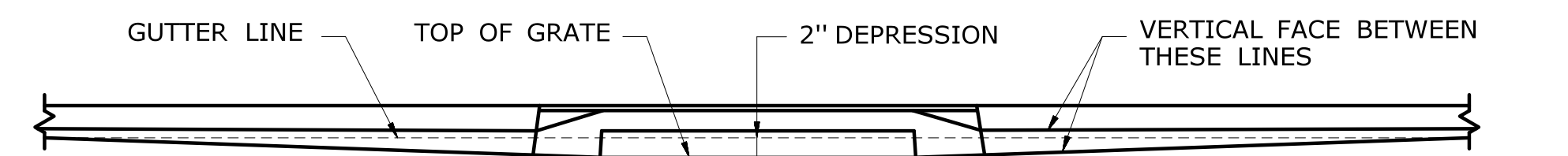
SECTION B

TYPE "C" CATCH BASIN

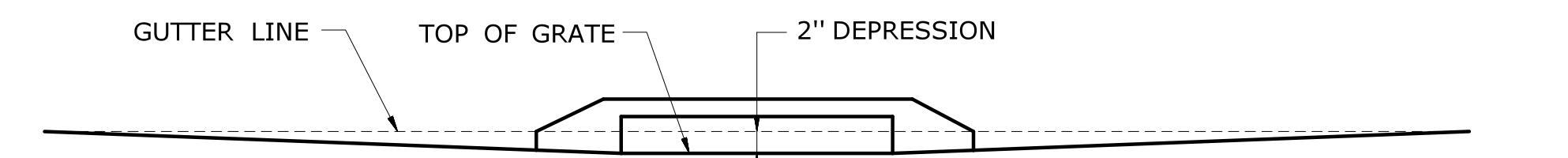
- GENERAL NOTES:**
- FOR CATCH BASIN TOPS, SEE DRAWING NO. DGS-07.
 - ALL FACES OF STRUCTURES IN CONTACT WITH CONCRETE PAVEMENT SHALL BE COVERED WITH A LAYER OF TAR PAPER OR APPROVED EQUAL.
 - USE 6'-0" ON UPGRADE SIDE (SEE PLAN VIEW) OF CONTINUOUS GRADE AND 1'-0" ON DOWNGRADE SIDE OF CONTINUOUS GRADE OR AS DIRECTED BY THE ENGINEER.
 - IF MASONRY UNITS ARE REQUIRED, THE BASIN SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE DIMENSIONS SHOWN. CORBELLING SHALL BE PERMITTED TO A MAXIMUM OF 3". NO PROJECTION SHALL EXTEND INSIDE THE LIMITS FOR THE CATCH BASIN OPENINGS SHOWN IN THE SECTION VIEWS **.
 - WALL THICKNESS OF ALL CATCH BASINS OVER 10' DEEP SHALL BE INCREASED TO 12" THICK. INSIDE DIMENSION SHALL REMAIN THE SAME. 12" THICKNESS SHALL START AFTER THE FIRST 10'.
 - SPACERS CAN BE EITHER CONCRETE MASONRY UNIT OR PRECAST WITH THE REQUIRED REINFORCING (RECOMMENDED BY THE MANUFACTURER) AS NEEDED TO PROVIDE THE PROPER GRADE SHOWN ON THE PLANS.
 - TOP OF FRAME ELEVATION SHALL BE MEASURED IN THE CENTER OF GRATE AT GUTTER LINE.



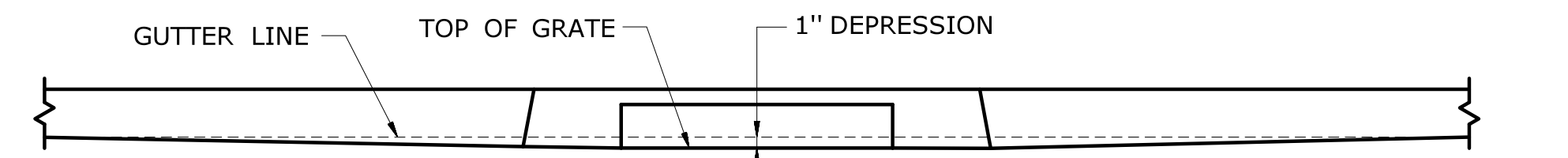
PLAN



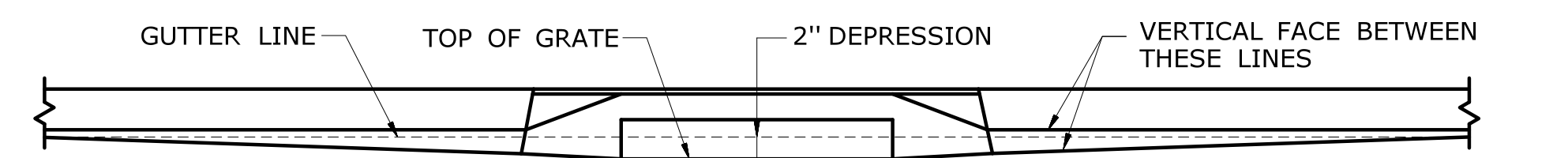
CATCH BASINS IN A LINE WITH 4" CONCRETE PARK CURBING OR 4" BITUMINOUS CONCRETE PARK CURBING



CATCH BASINS WHERE NO CURBING OF ANY TYPE EXISTS OR IS PROPOSED

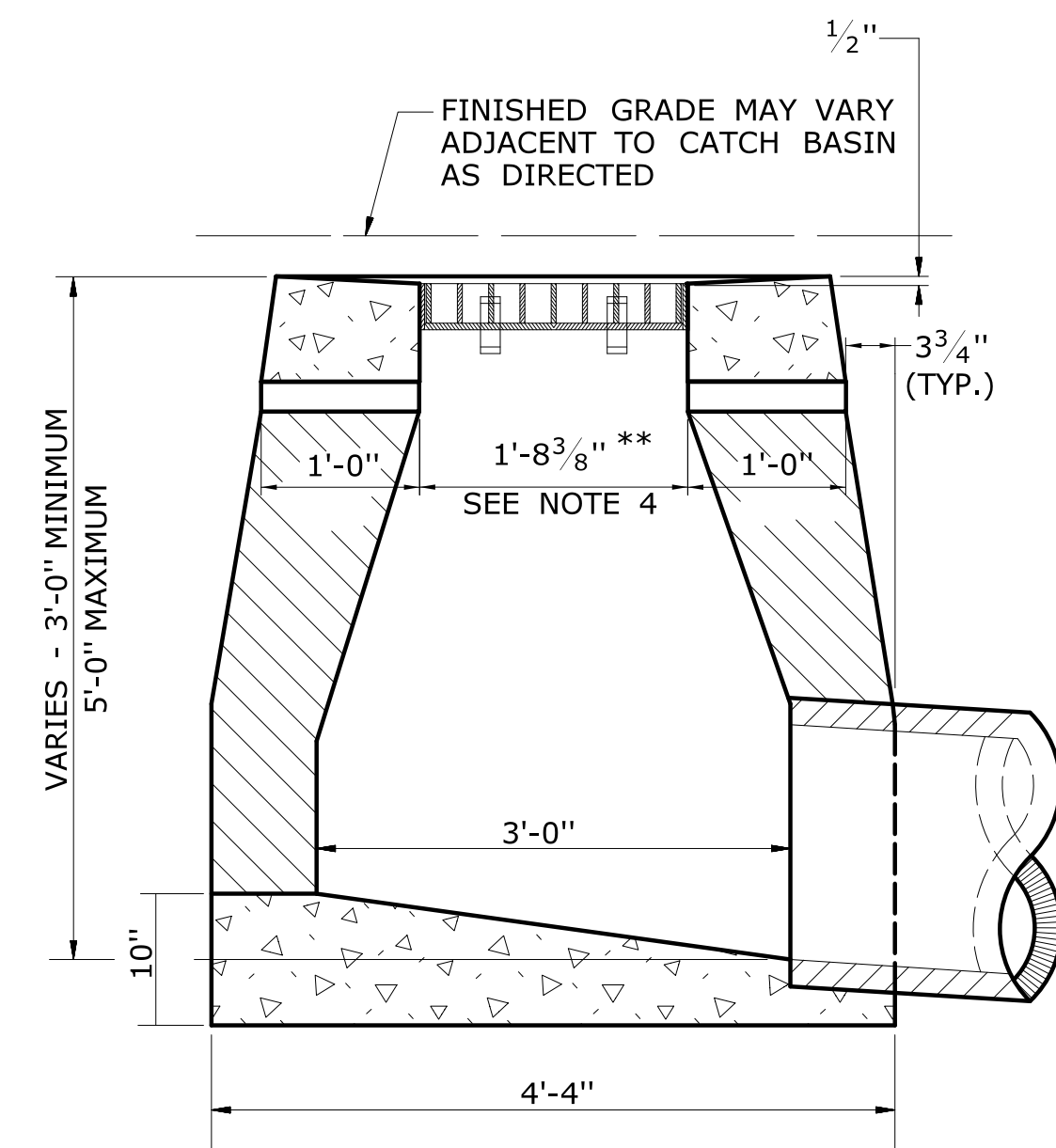


CATCH BASINS IN A LINE WITH 6" CONCRETE CURBING OR 6" STONE CURBING



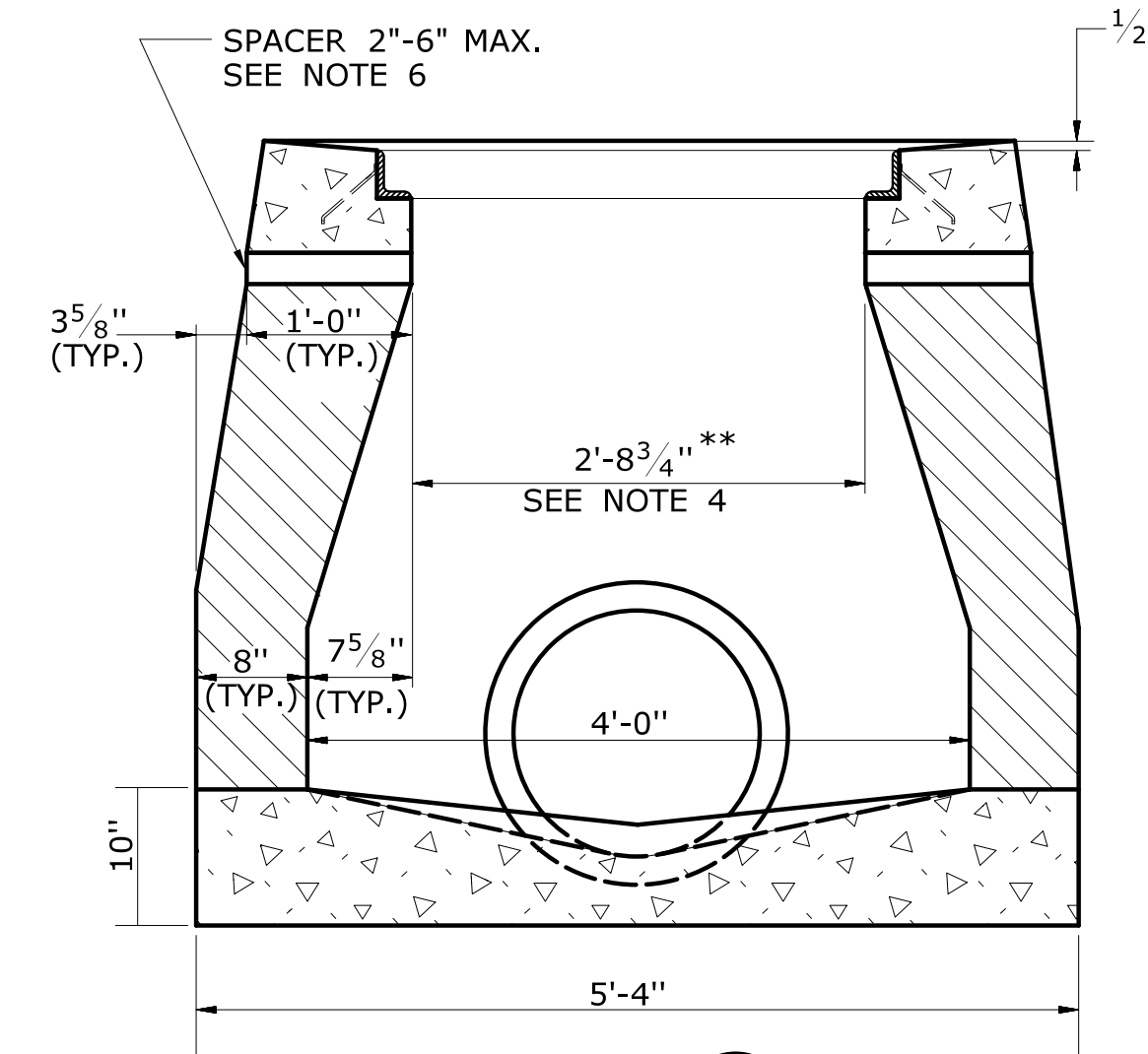
CATCH BASINS IN A LINE WITH 6" BITUMINOUS CONCRETE LIP CURBING (MACHINE FORMED)

DETAILS OF DEPRESSED GUTTER STRIP FOR TYPE "C" CATCH BASIN



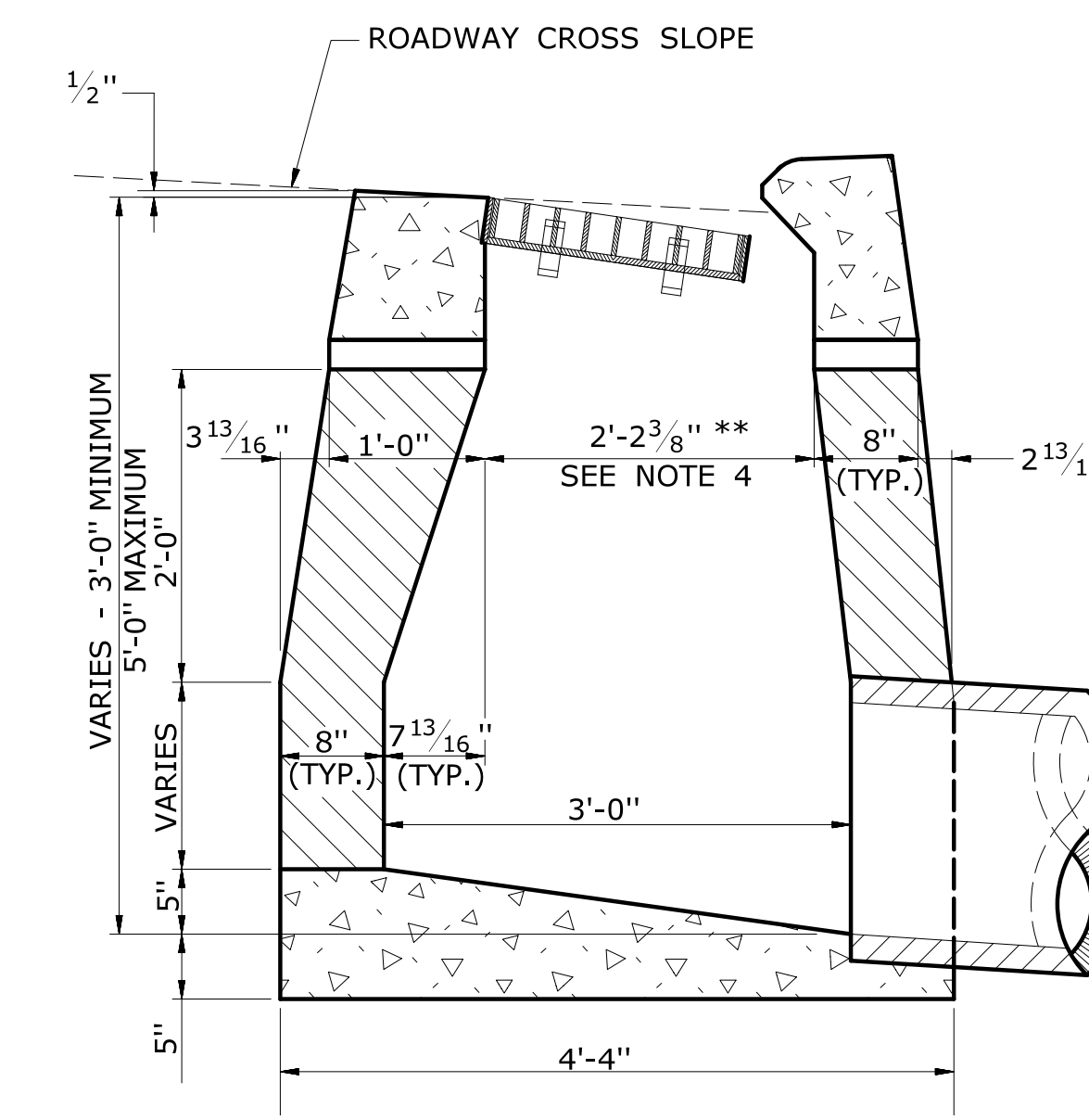
SECTION B

TYPE "C-L" DROP INLET



SECTION A

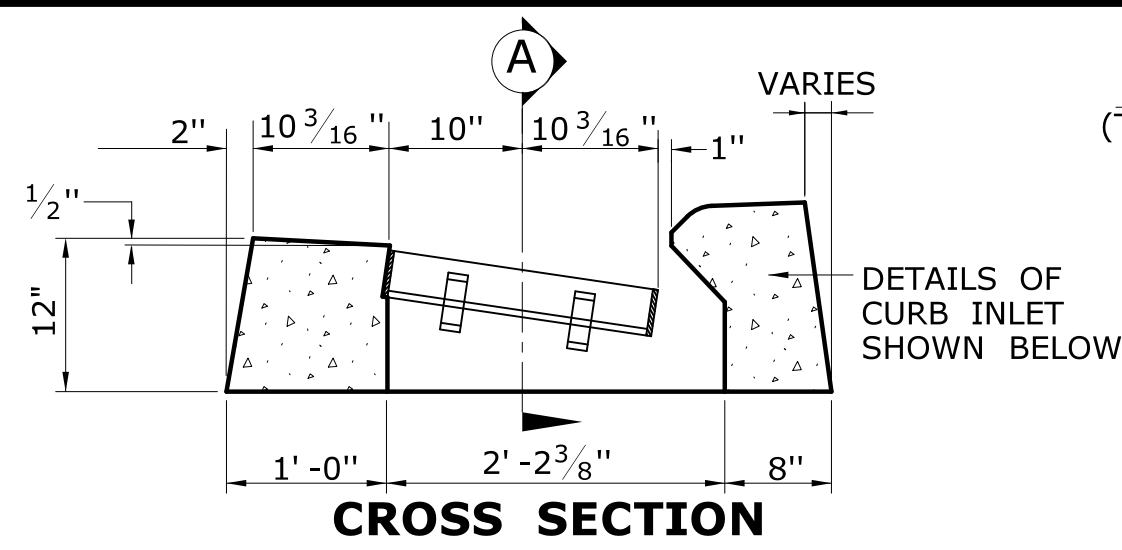
TYPE "C" & "C-L" DROP INLET
(TYPE "C-L" TOP SHOWN)



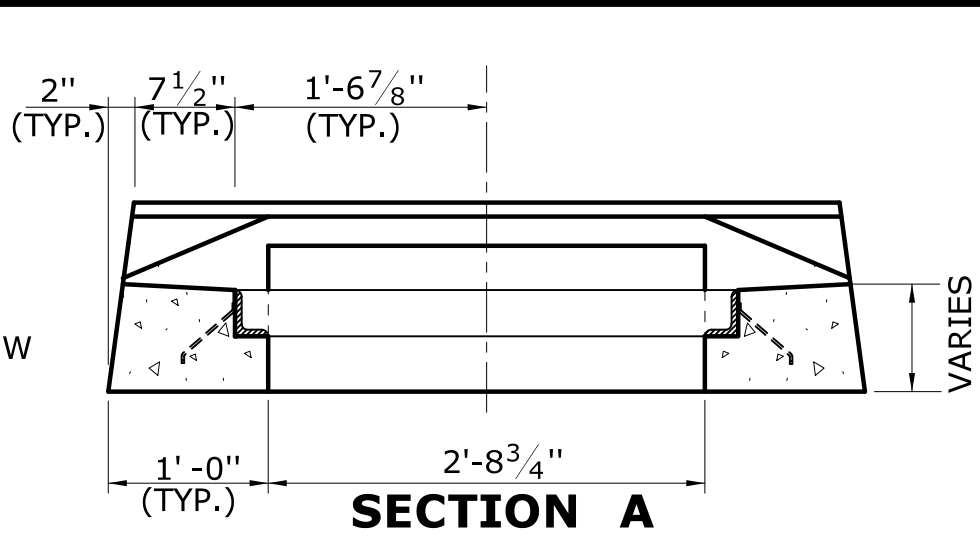
SECTION B

TYPE "C" DROP INLET

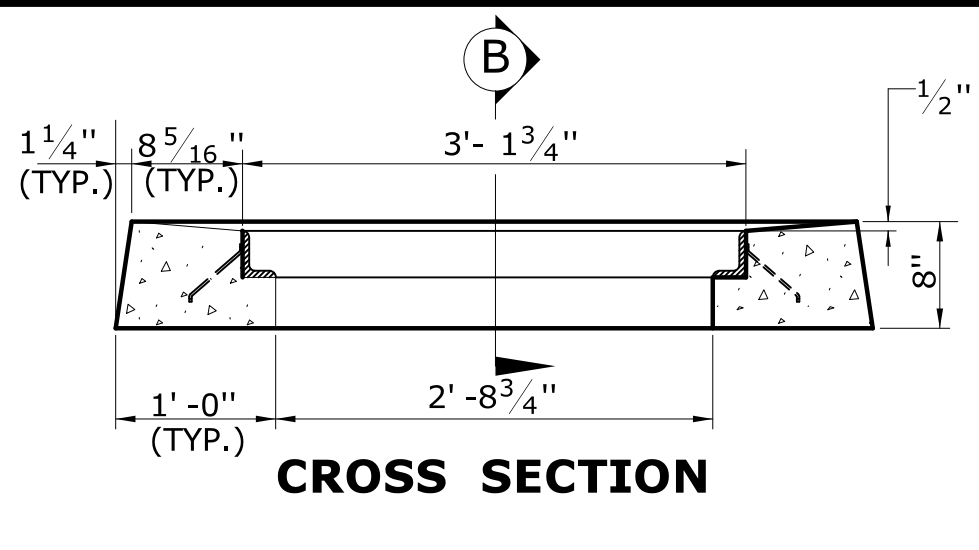
THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.		DESIGNER/DRAFTER: CHECKED BY:	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	SIGNATURE/BLOCK: OFFICE OF ENGINEERING APPROVED BY:	PROJECT TITLE: - - -	TOWN: - -	PROJECT NO.: - DRAWING NO.: DGS-01 SHEET NO.:
REV.	DATE	REVISION DESCRIPTION	SHEET NO.	Plotted Date: 5/31/2019	Filename: ...CTDOT_HIGHWAY_GD [5-30-19].dgn	CATCH BASIN AND DROP INLET TYPES	



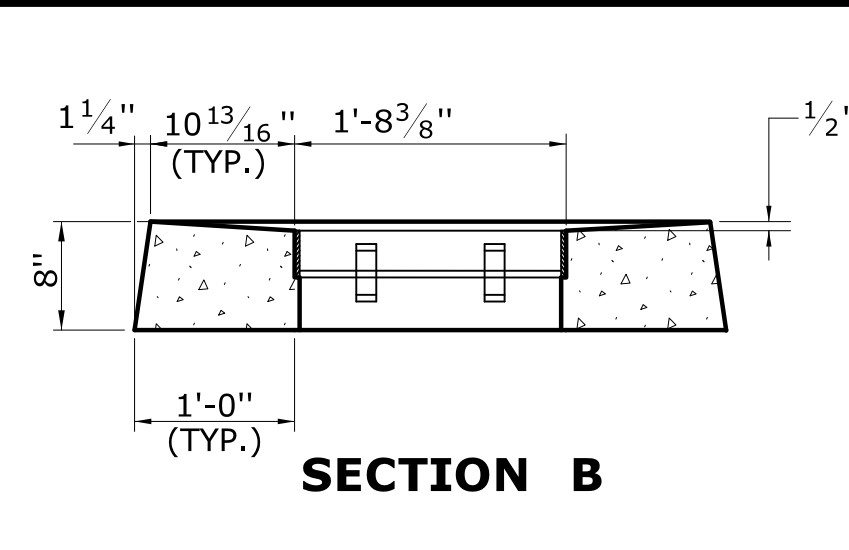
**CROSS SECTION
TYPE "C" CATCH BASIN TOP**



**SECTION A
TYPE "C-L" CATCH BASIN TOP**

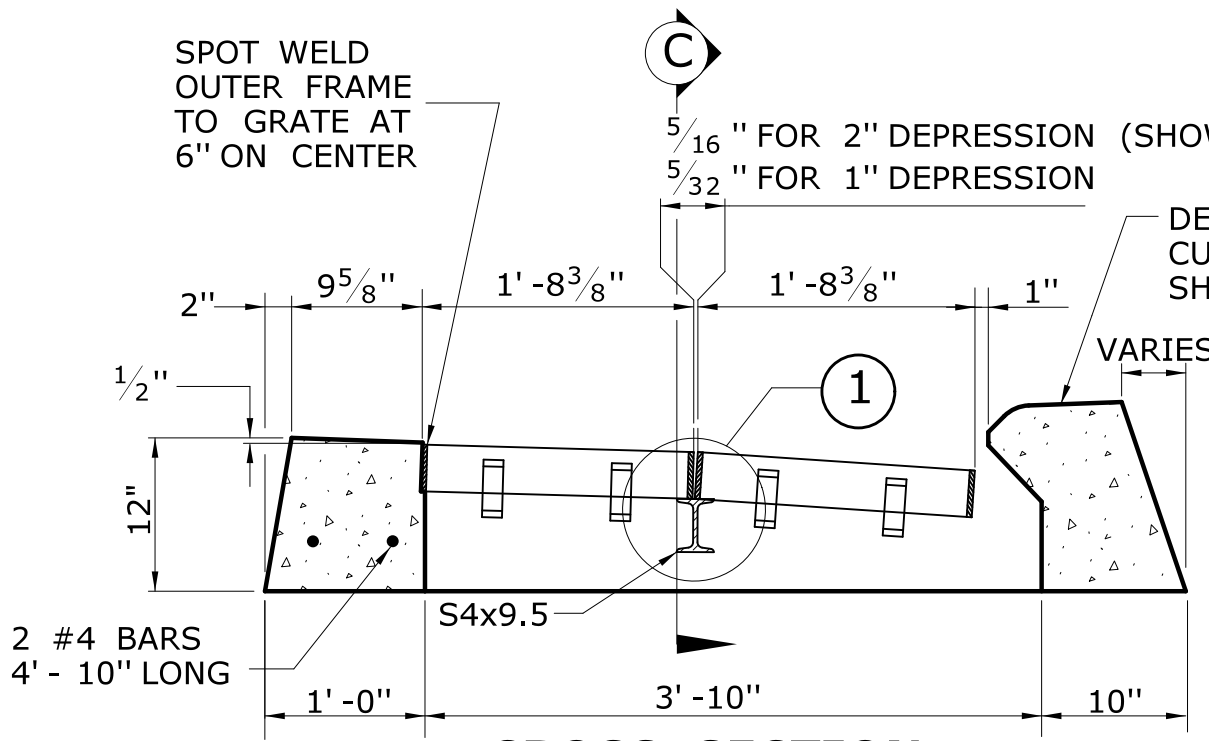


**CROSS SECTION
TYPE "C-L" CATCH BASIN TOP**

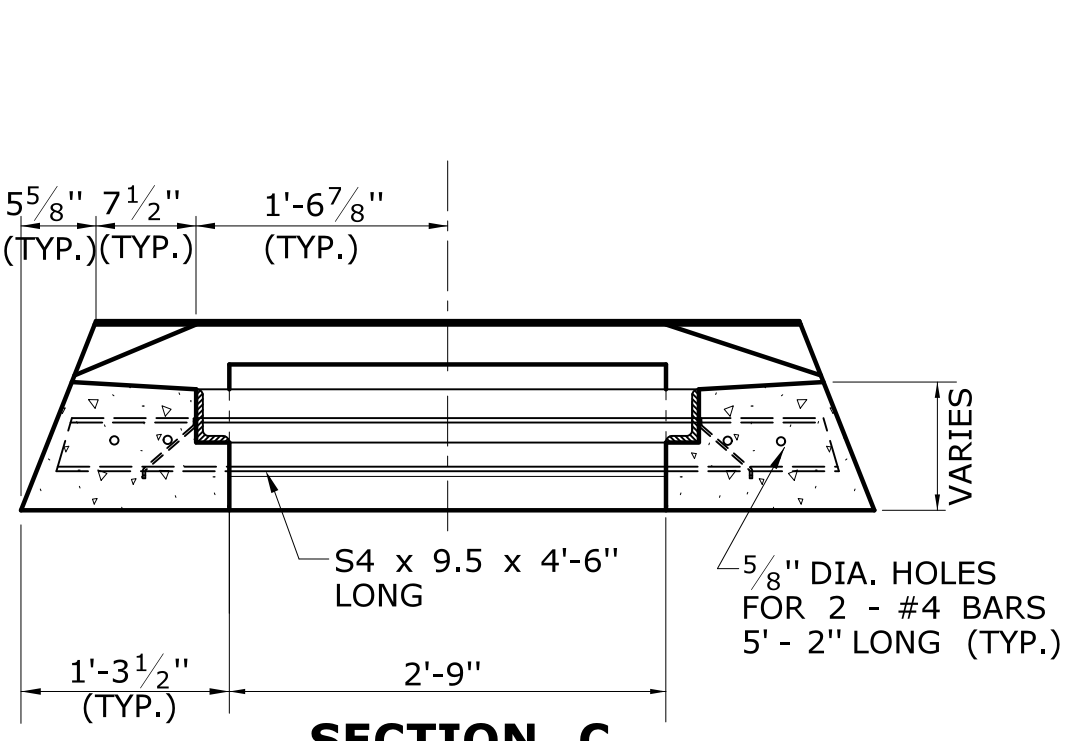


**SECTION B
TYPE "C-L" CATCH BASIN TOP**

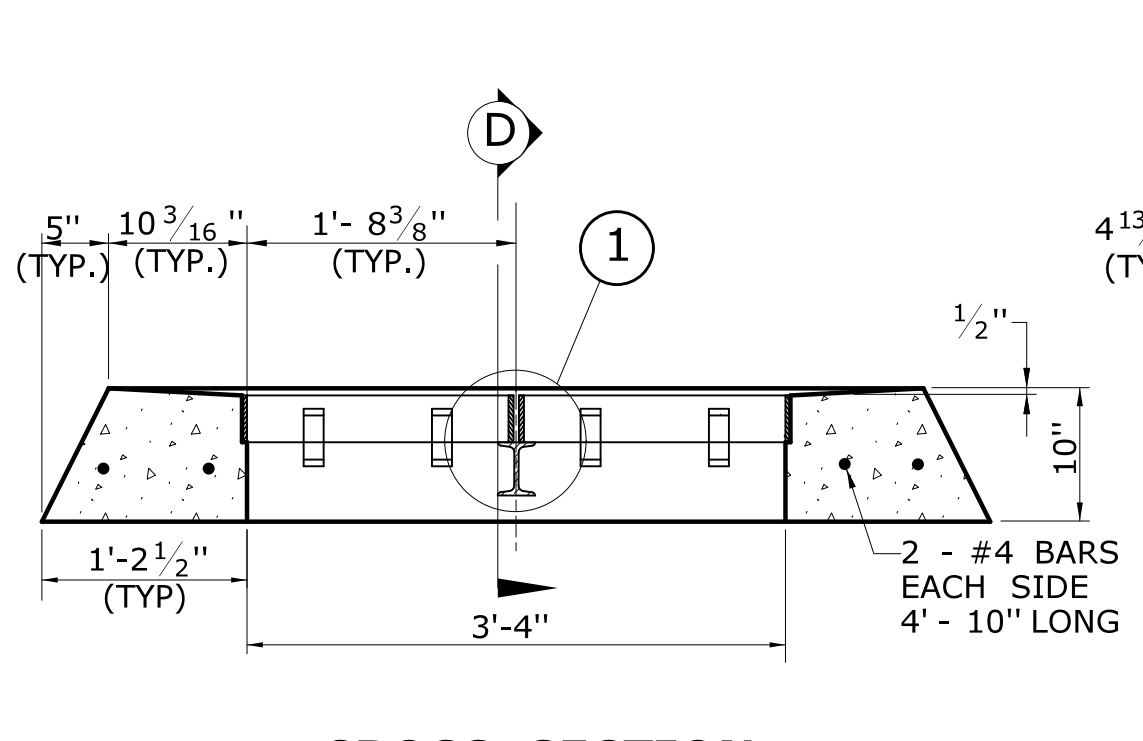
GENERAL NOTES:
1. FOR DETAILS OF FRAMES AND GRATES, SEE DRAWING NO. DGS-08.
2. ALL BARS SHALL HAVE A MINIMUM 2" COVER.



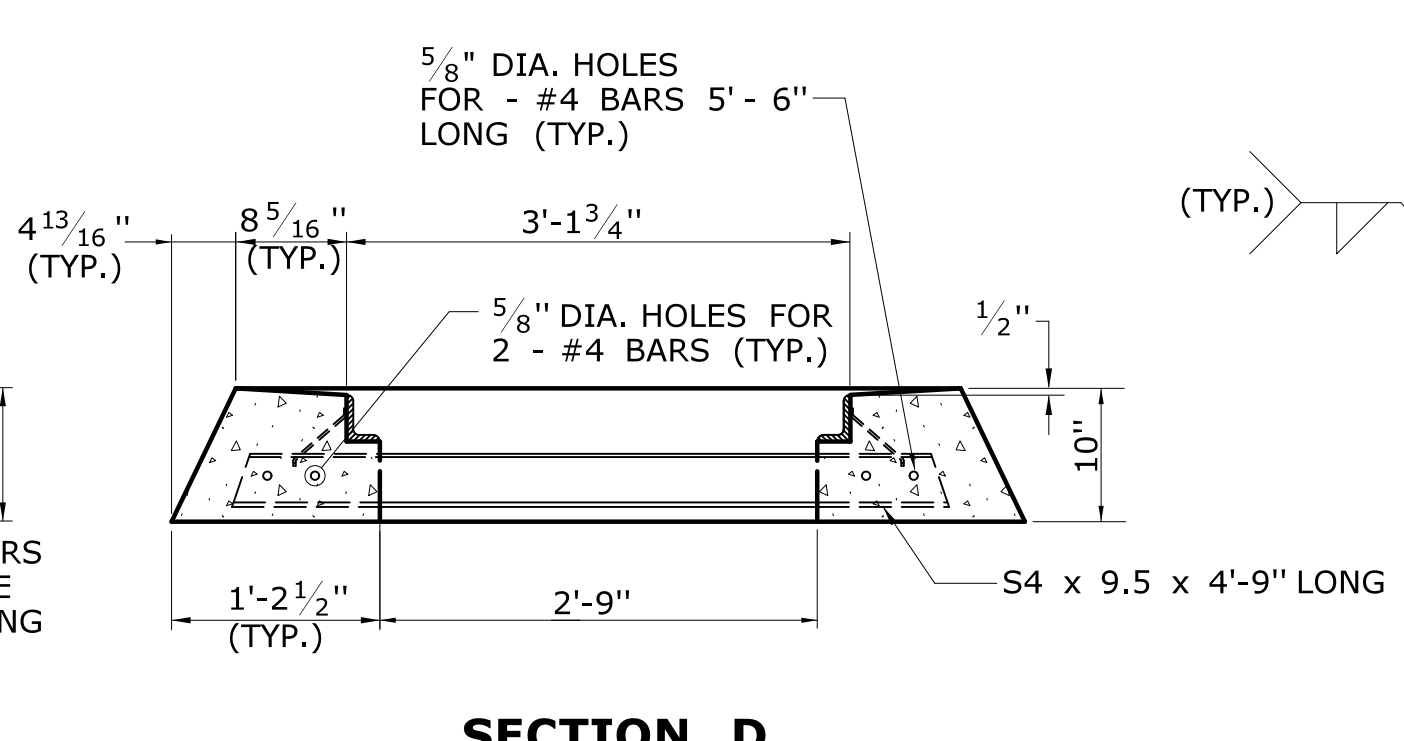
**CROSS SECTION
TYPE "C" CATCH BASIN DOUBLE GRATE - TYPE I TOP**



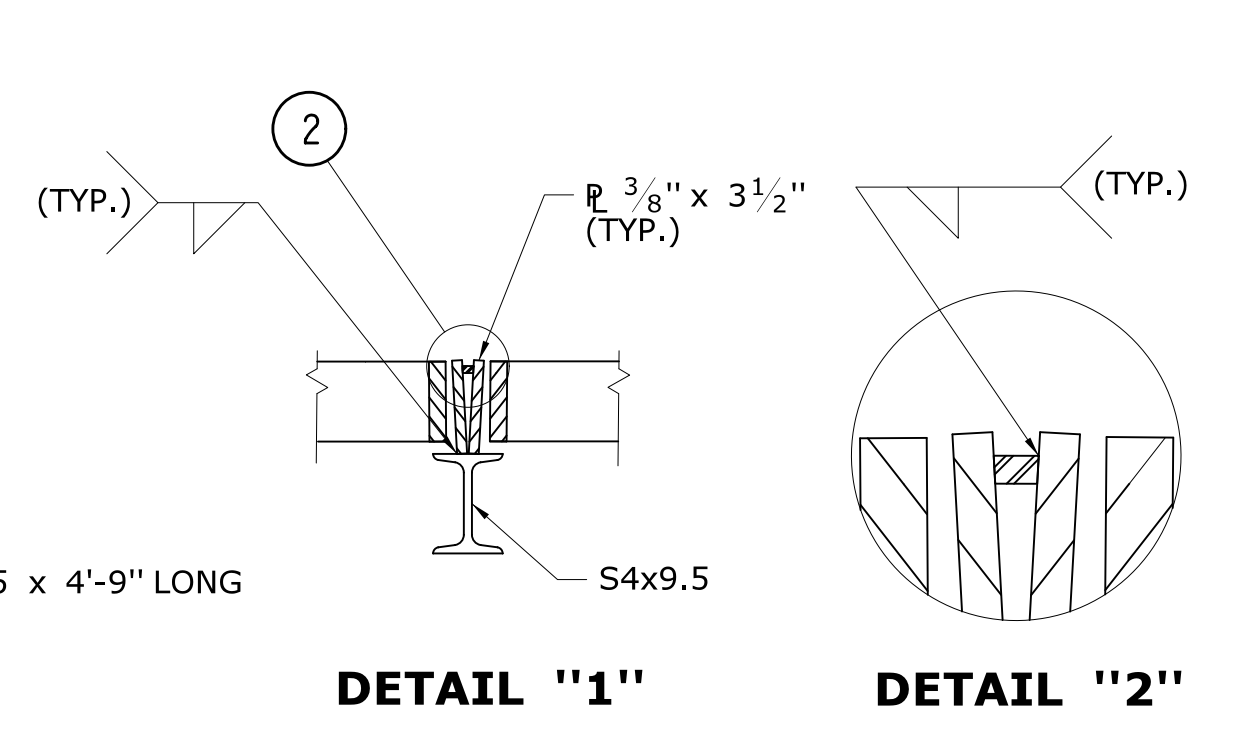
**SECTION C
TYPE "C-L" CATCH BASIN DOUBLE GRATE - TYPE I TOP**



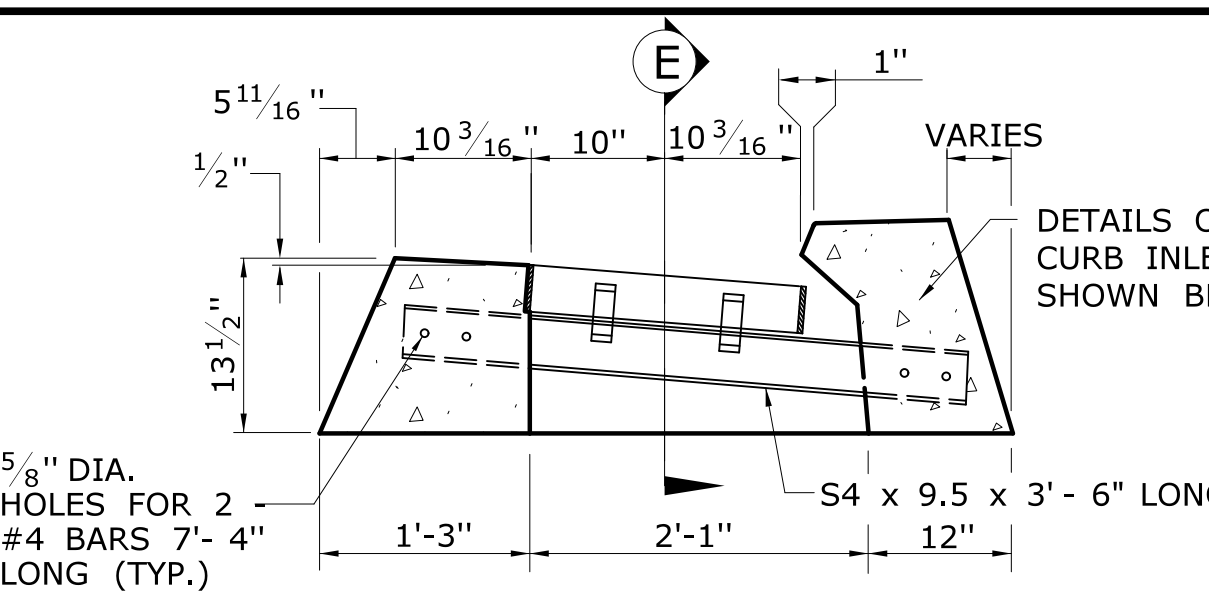
**CROSS SECTION
TYPE "C-L" CATCH BASIN DOUBLE GRATE - TYPE I TOP**



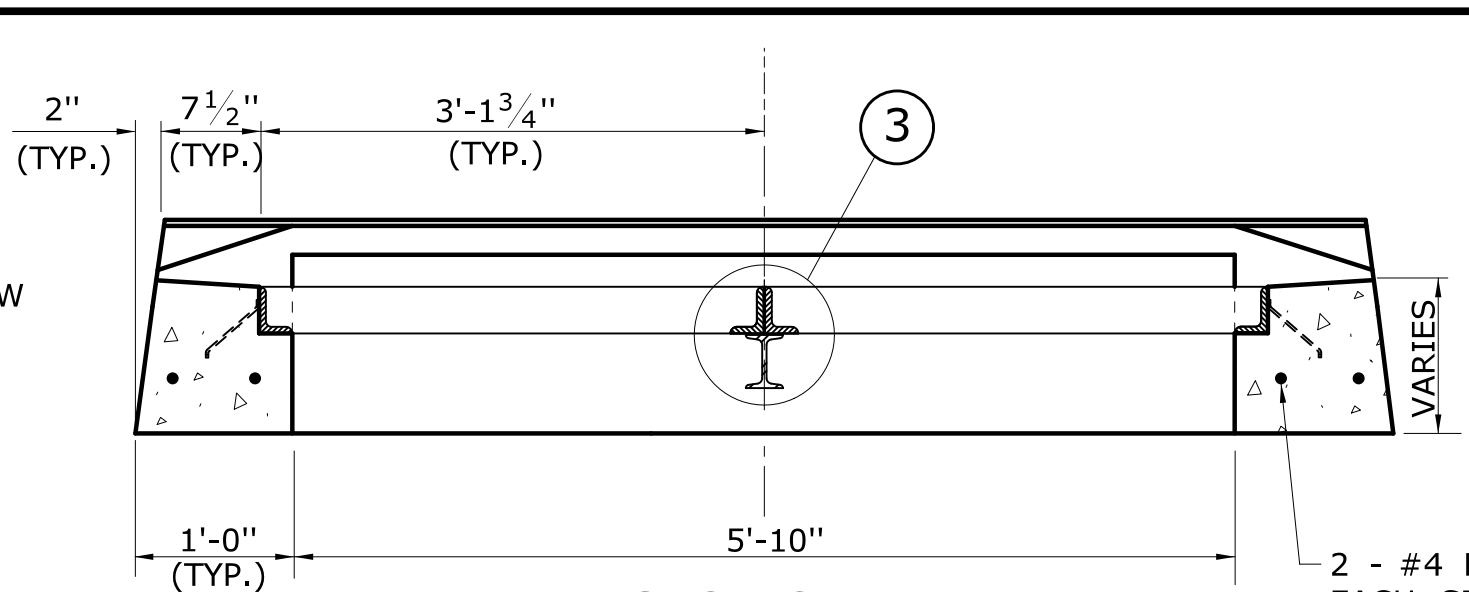
**SECTION D
TYPE "C-L" CATCH BASIN DOUBLE GRATE - TYPE I TOP**



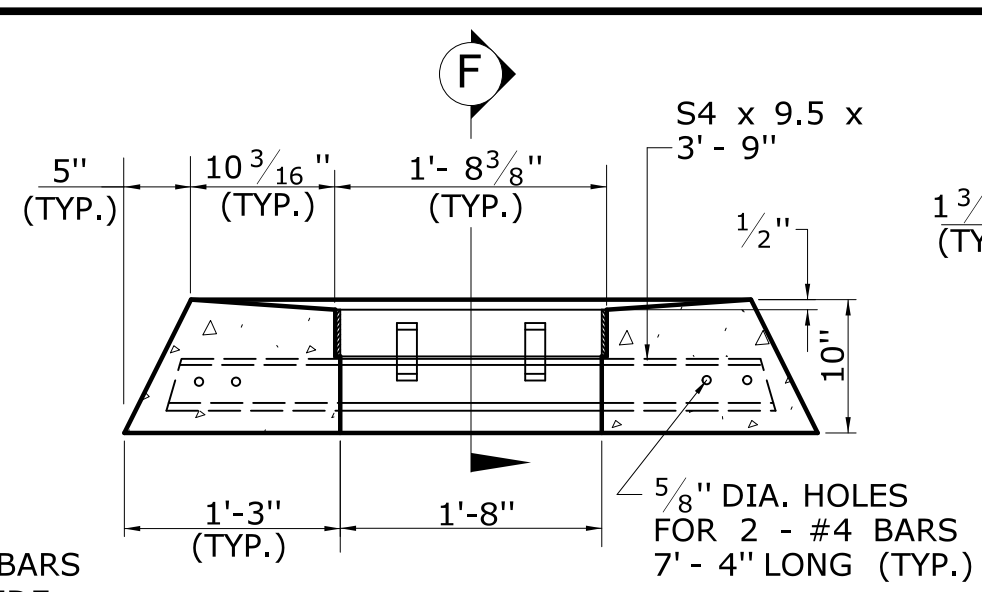
DETAIL "1" DETAIL "2"



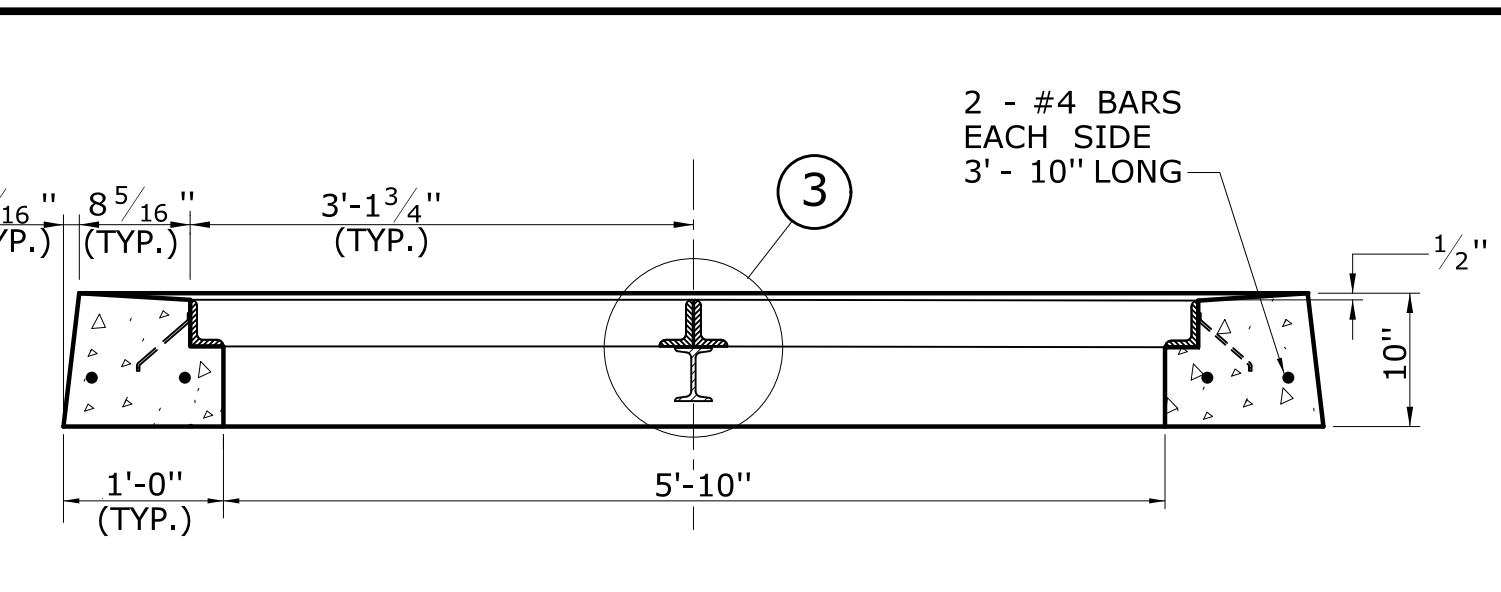
**CROSS SECTION
TYPE "C" CATCH BASIN DOUBLE GRATE - TYPE II TOP**



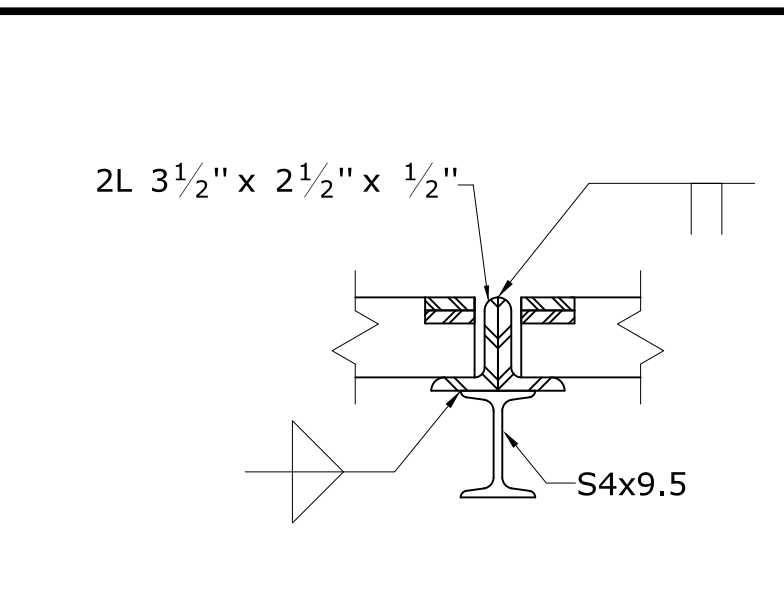
**SECTION E
TYPE "C-L" CATCH BASIN DOUBLE GRATE - TYPE II TOP**



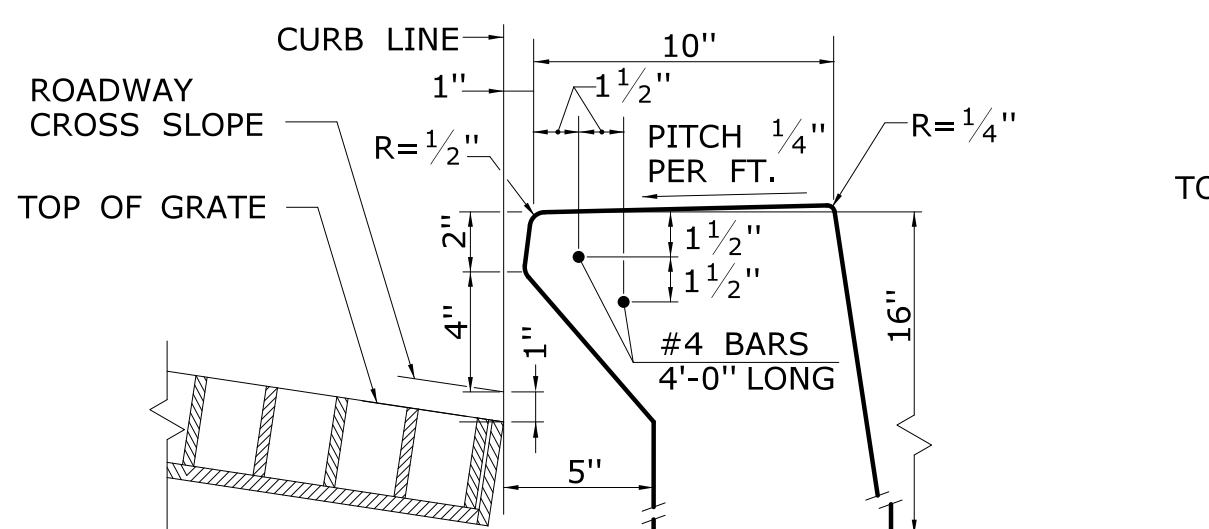
**CROSS SECTION
TYPE "C-L" CATCH BASIN DOUBLE GRATE - TYPE II TOP**



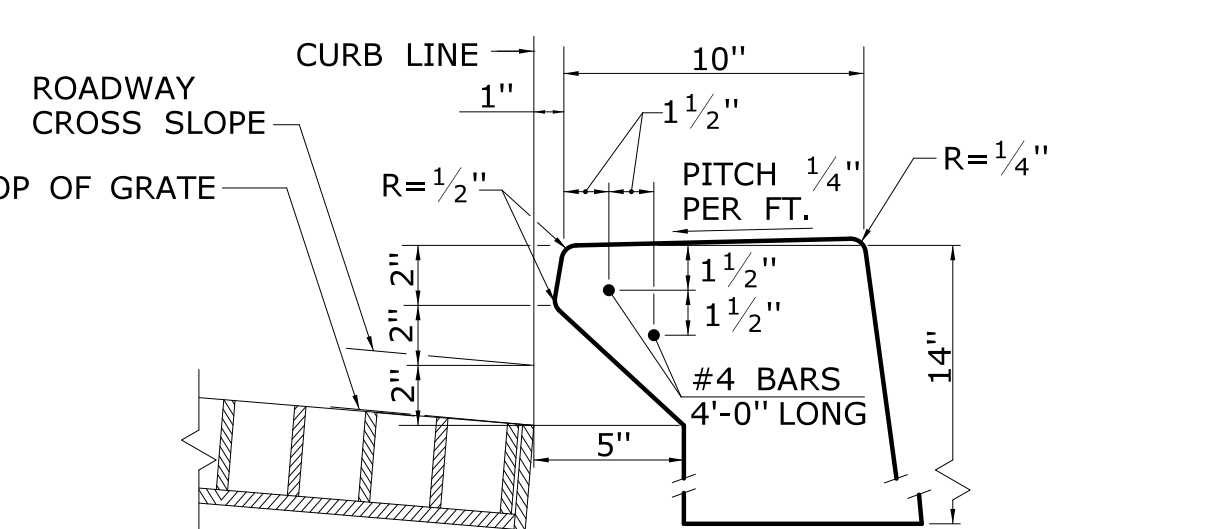
**SECTION F
TYPE "C-L" CATCH BASIN DOUBLE GRATE - TYPE II TOP**



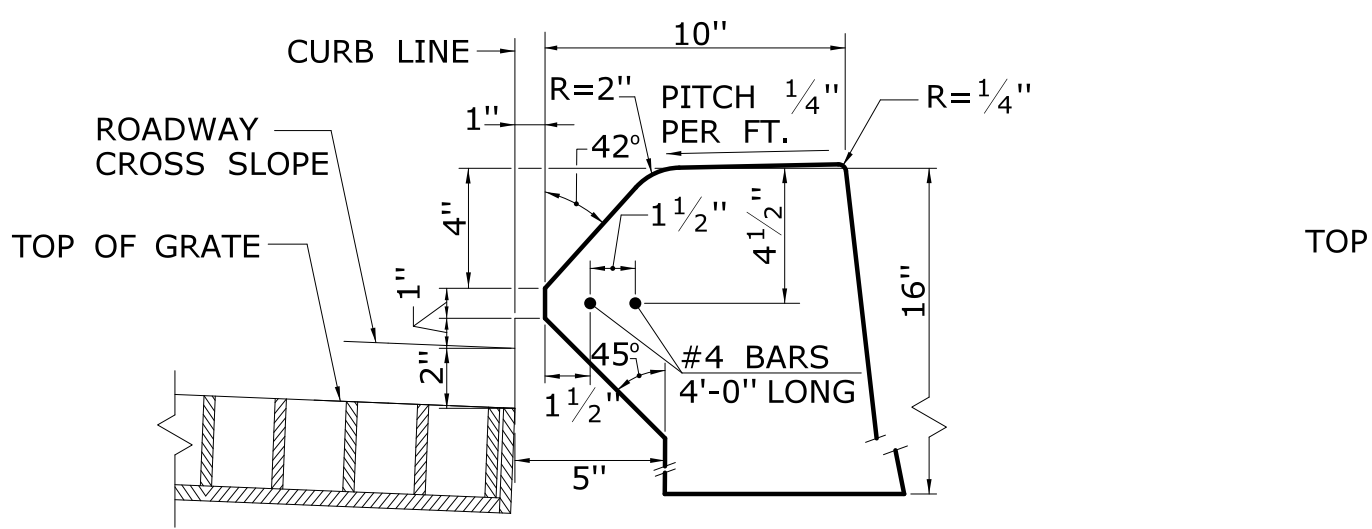
DETAIL "3"



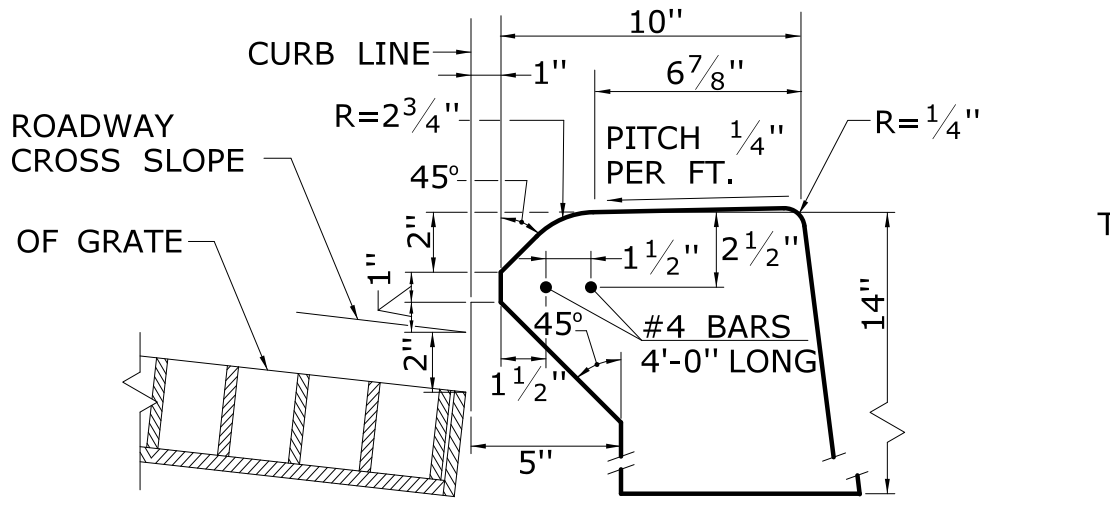
INLET WITH 6" CONCRETE OR STONE CURBING FOR TYPE "C" CB



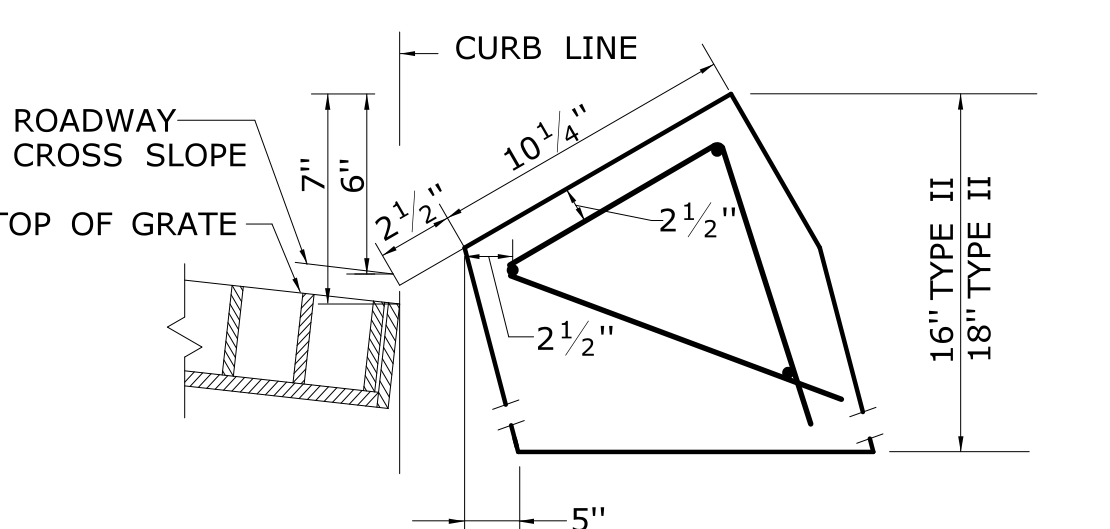
INLET WITH NO CURBING (PLAIN TYPE) FOR TYPE "C" CB



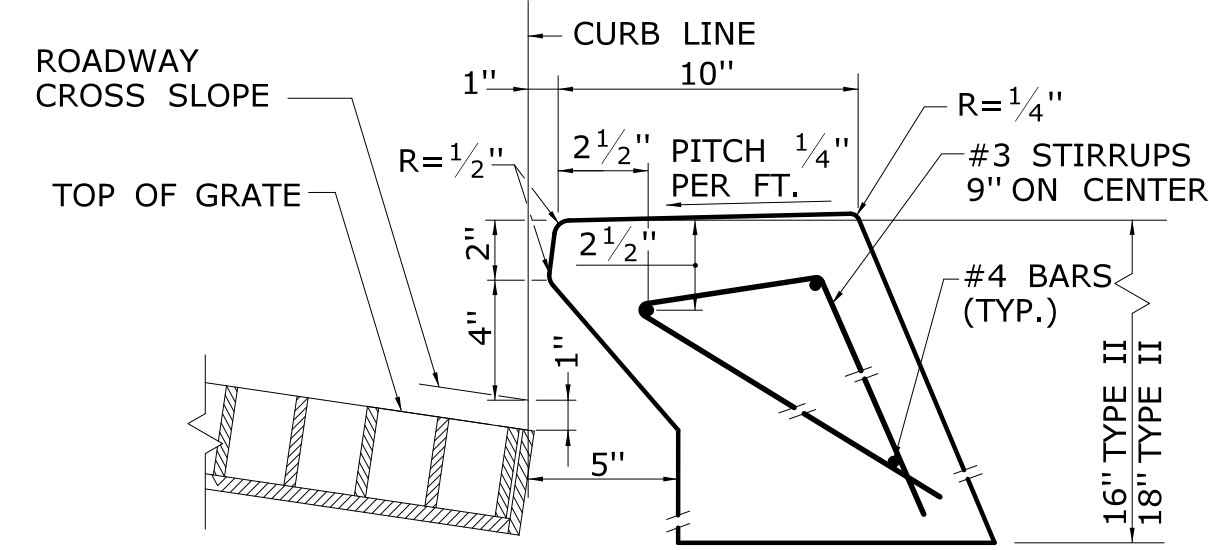
INLET WITH 6" BITUMINOUS CONCRETE LIP CURBING FOR TYPE "C" CB



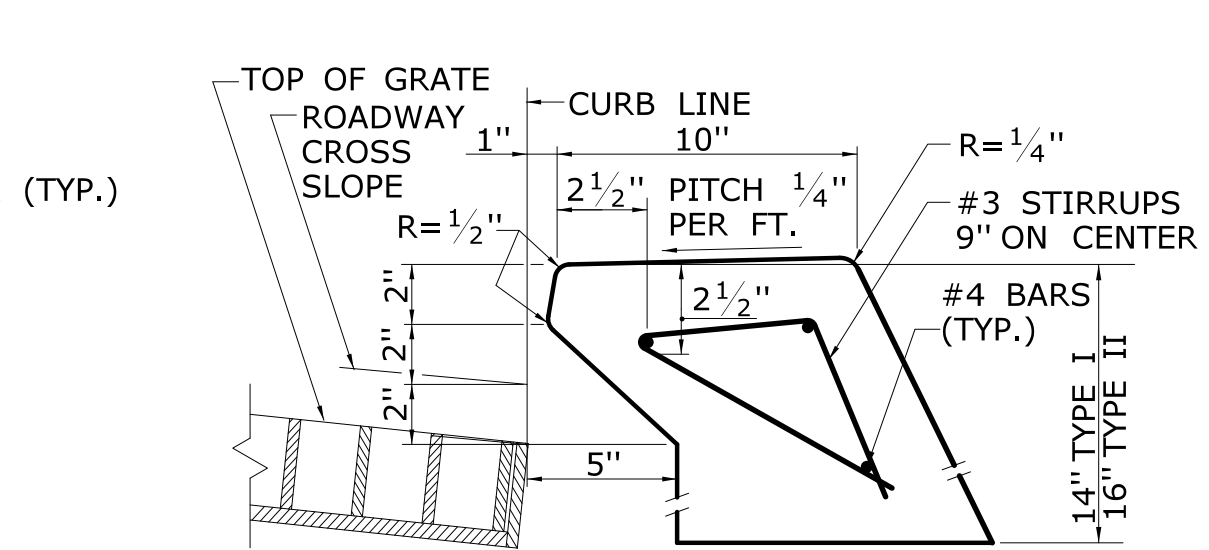
INLET WITH 4" CONCRETE PARK CURBING FOR TYPE "C" CB



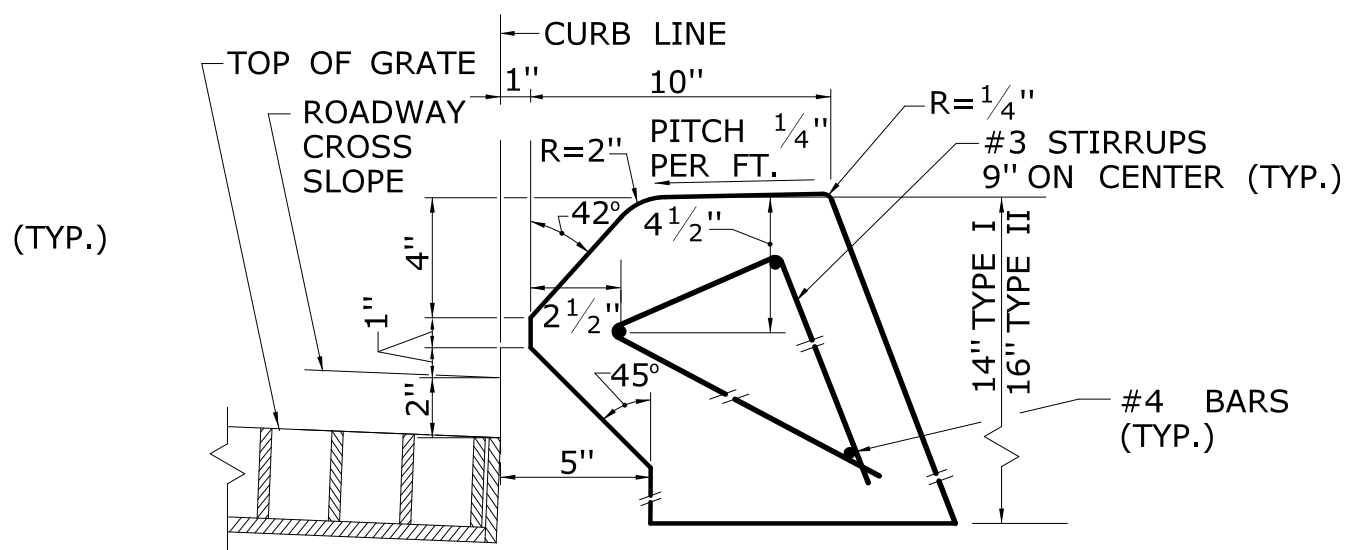
INLET WITH GRANITE SLOPE CURB FOR TYPE "C" CB



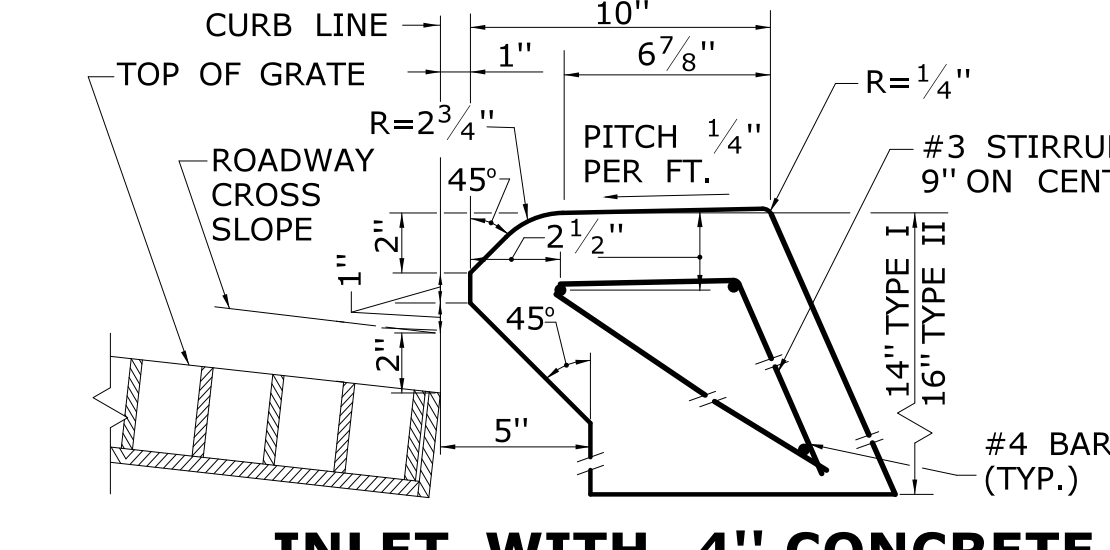
INLET WITH 6" CONCRETE OR STONE CURBING FOR TYPE "C" CB DOUBLE GRATE TYPE I & II



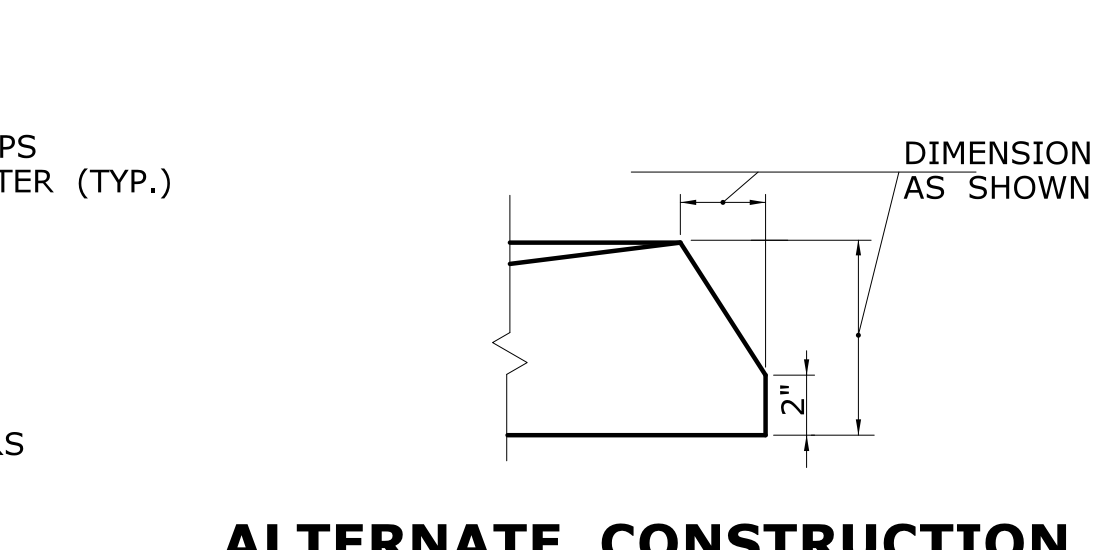
INLET WITH NO CURBING (PLAIN TYPE) FOR TYPE "C" CB DOUBLE GRATE TYPE I & II



INLET WITH 6" BITUMINOUS CONCRETE LIP CURBING FOR TYPE "C" CB DOUBLE GRATE TYPE I & II



INLET WITH 4" CONCRETE PARK CURBING FOR TYPE "C" CB DOUBLE GRATE TYPE I & II

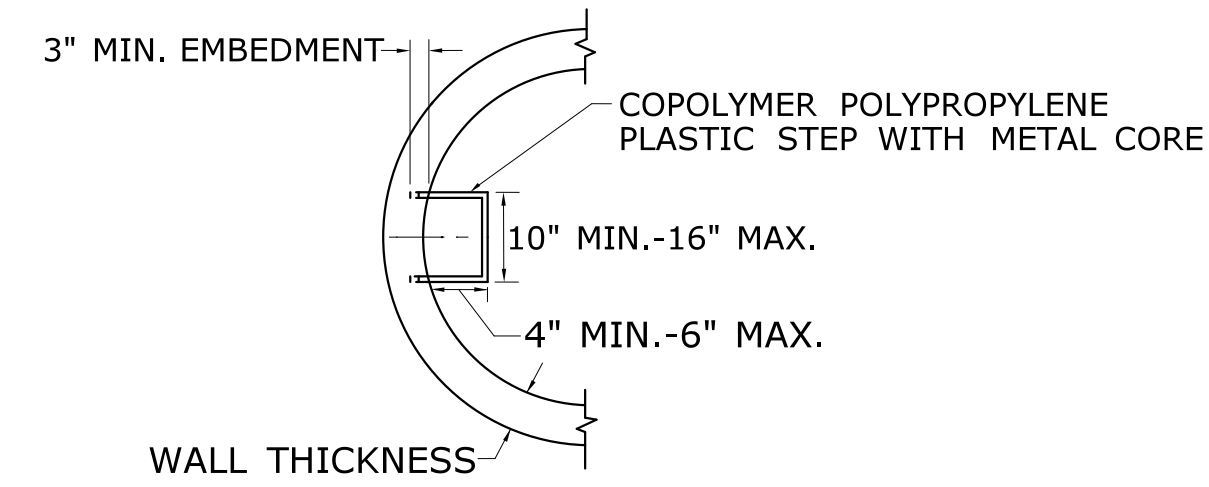


ALTERNATE CONSTRUCTION OF TYPE II TOP

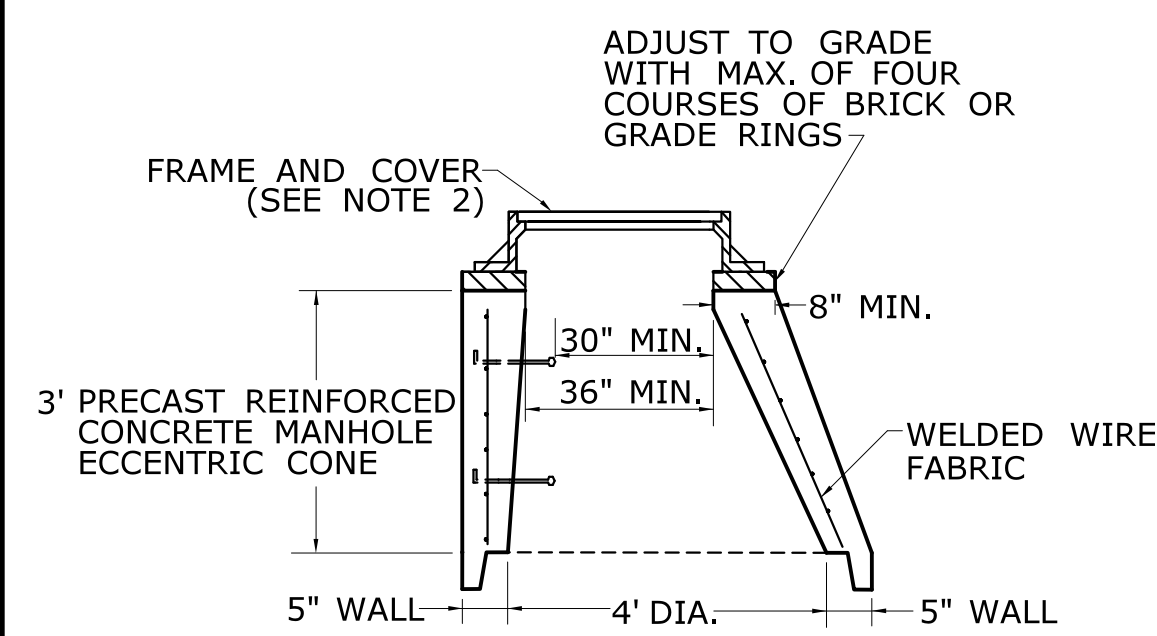
THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.		DESIGNER/DRAFTER: CHECKED BY:	STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION	SIGNATURE/ BLOCK: OFFICE OF ENGINEERING APPROVED BY:	PROJECT TITLE: TOWN: SHEET NO.	PROJECT NO.: DRAWING NO.: DGS-07 SHEET NO.
REV. DATE REVISION DESCRIPTION SHEET NO.	Plotted Date: 1/30/2019	Filename: ...CTDOT_HIGHWAY_GD_[1-28-19].dgn	CATCH BASIN TOPS TYPE "C" & "C-L"			

GENERAL NOTES:

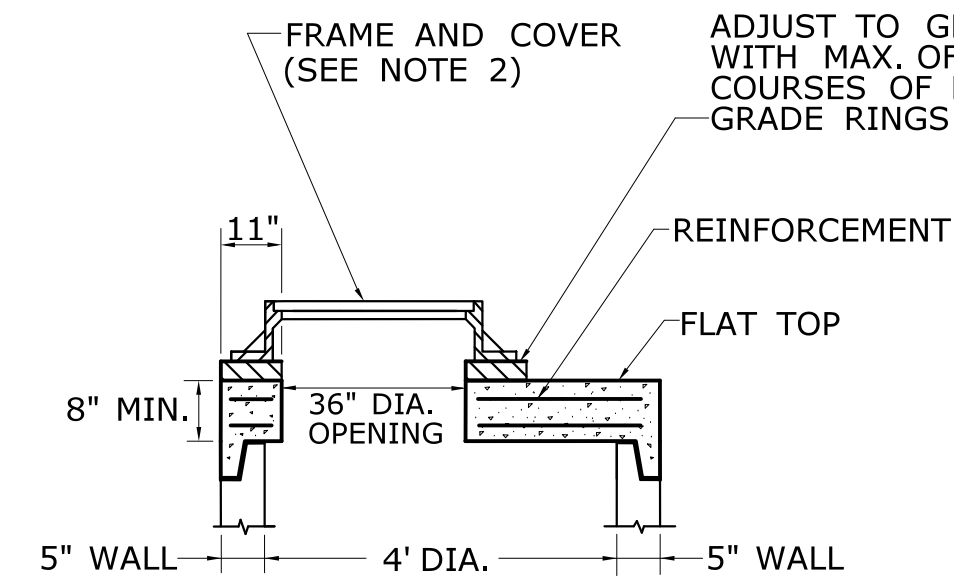
1. ALL DIMENSIONS ARE SUBJECT TO MANUFACTURERS TOLERANCE.
2. SEE GUIDE SHEET NO. DGS-10a, OR DGS-10b FOR MANHOLE FRAME, GRATE AND COVER DETAIL.



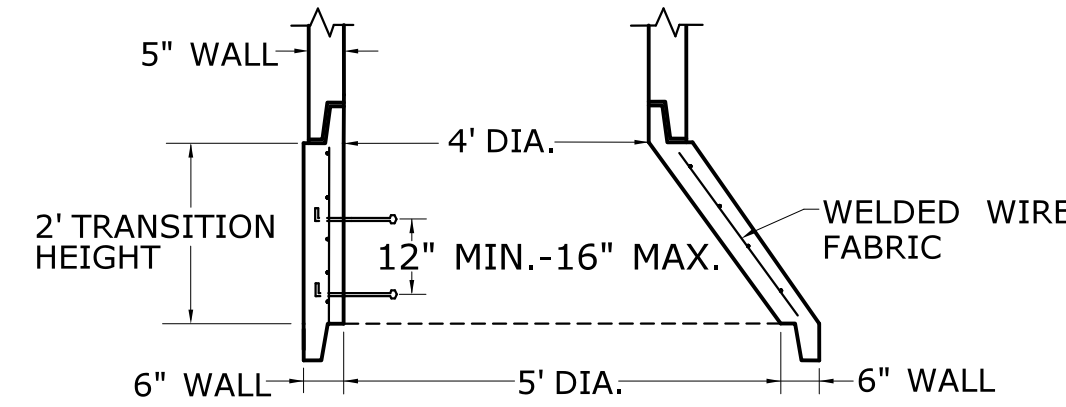
STEP DETAIL



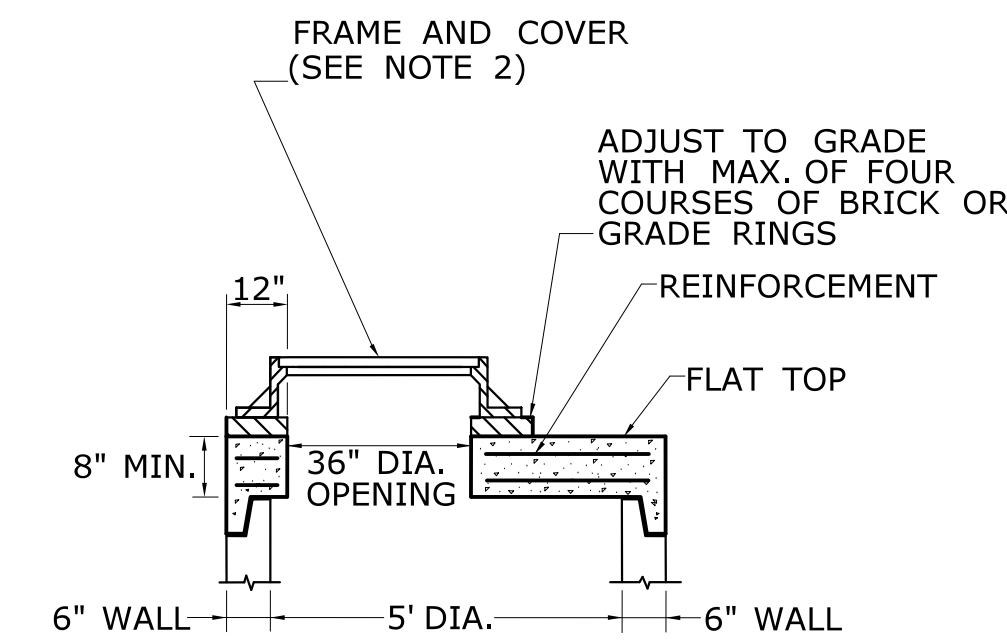
ECCENTRIC CONE SECTION



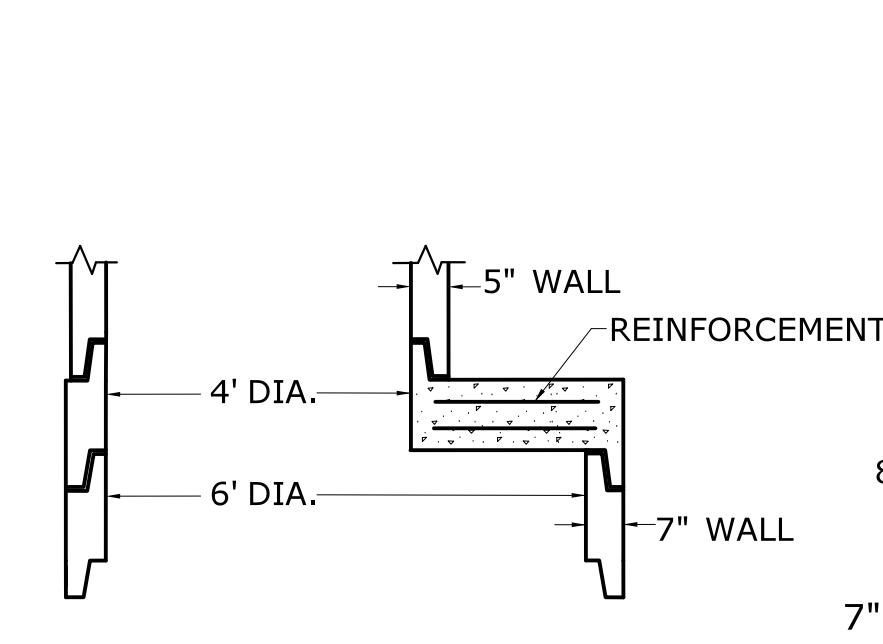
FLAT SLAB TOP FOR RISER SECTION



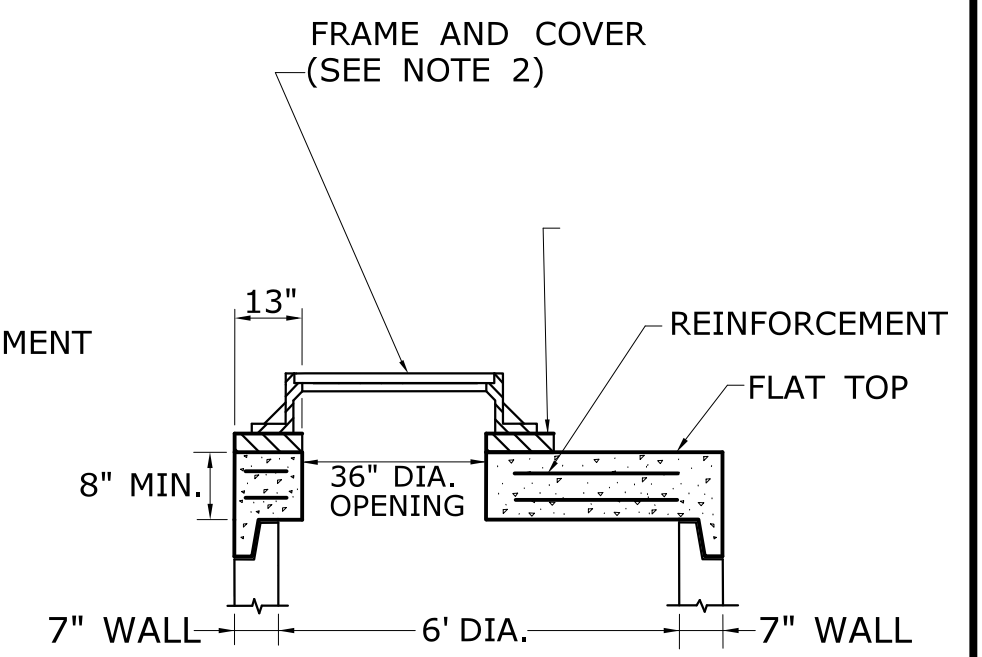
TRANSITION SECTION



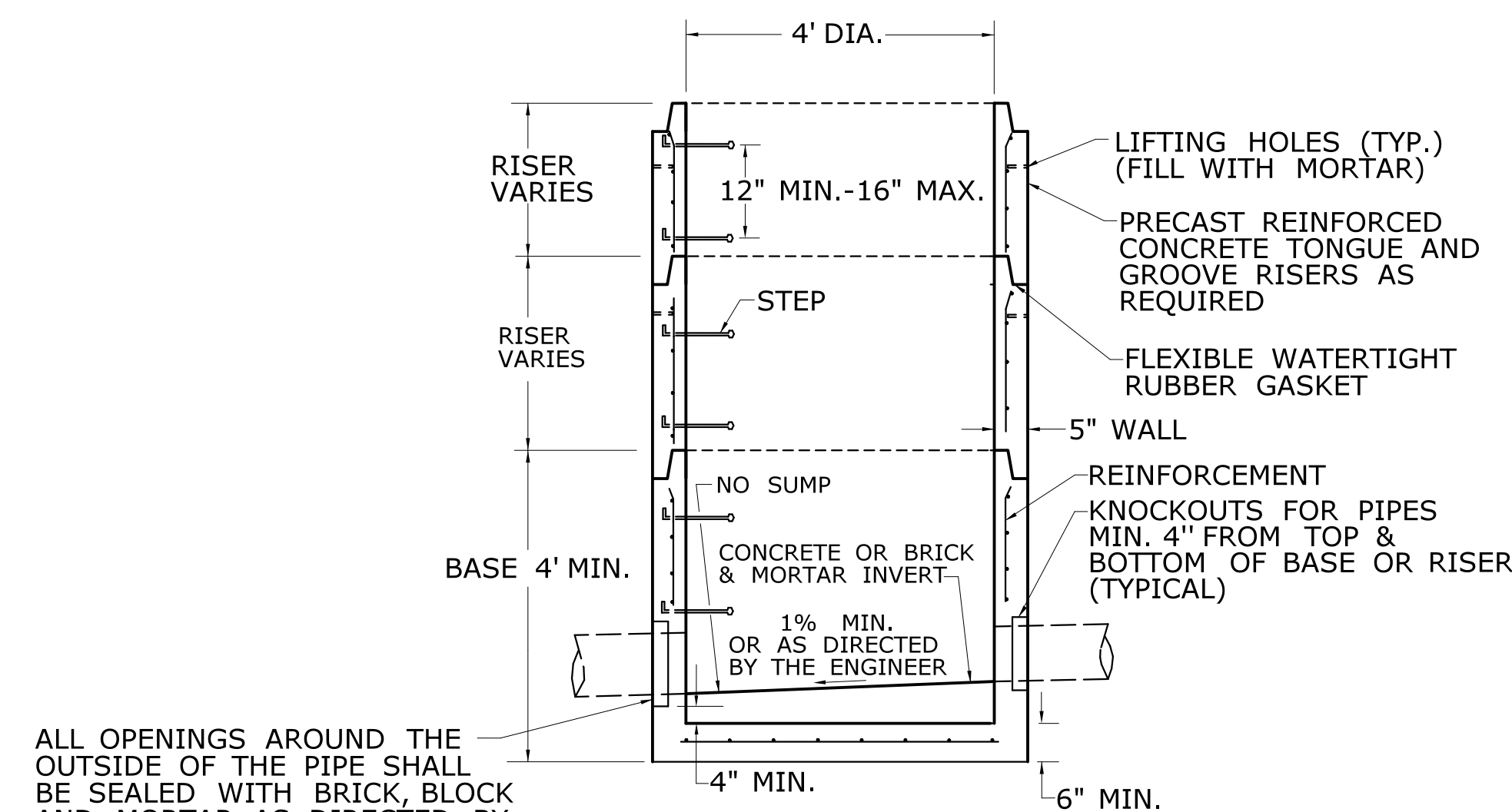
FLAT SLAB TOP FOR RISER SECTION



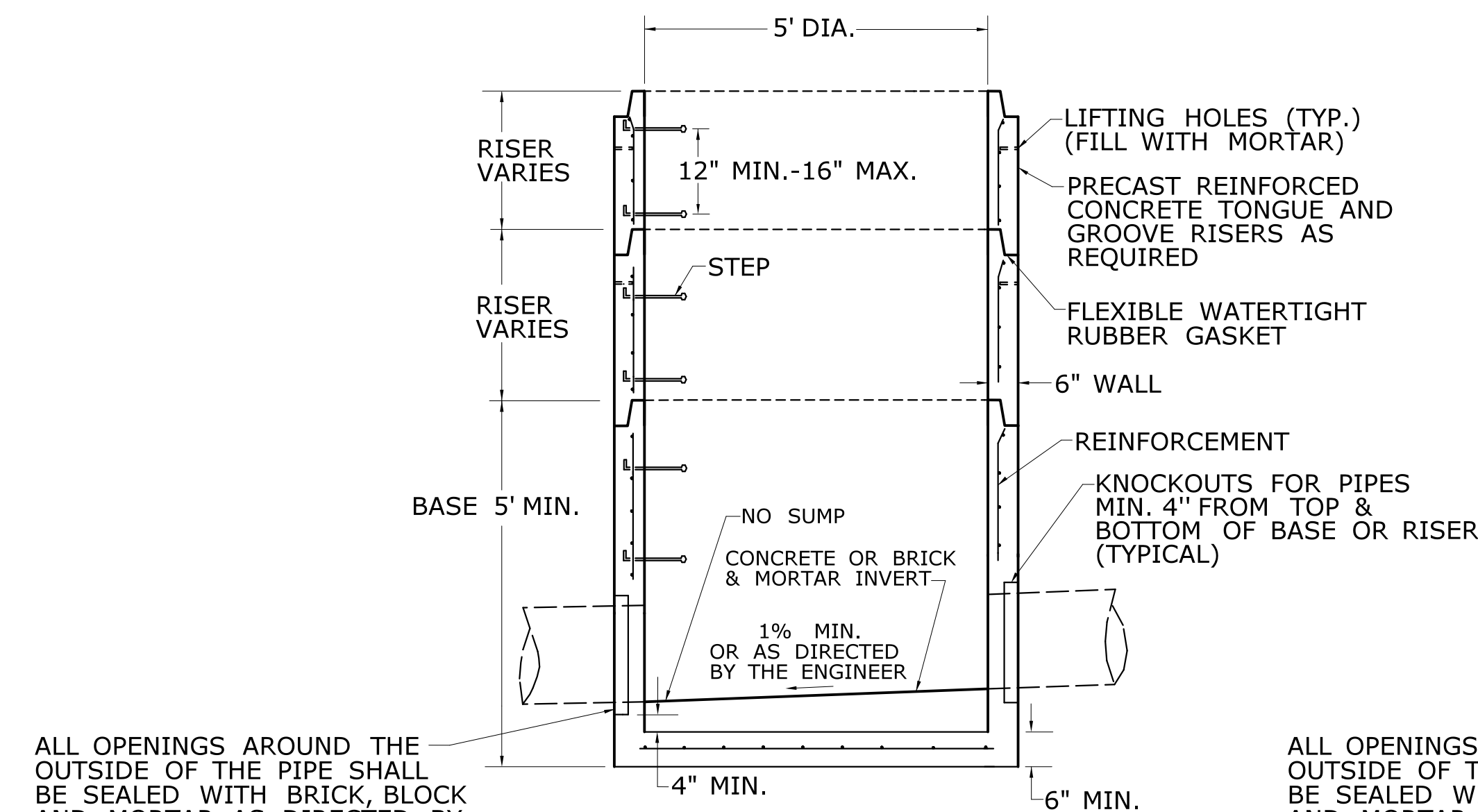
REDUCER SECTION



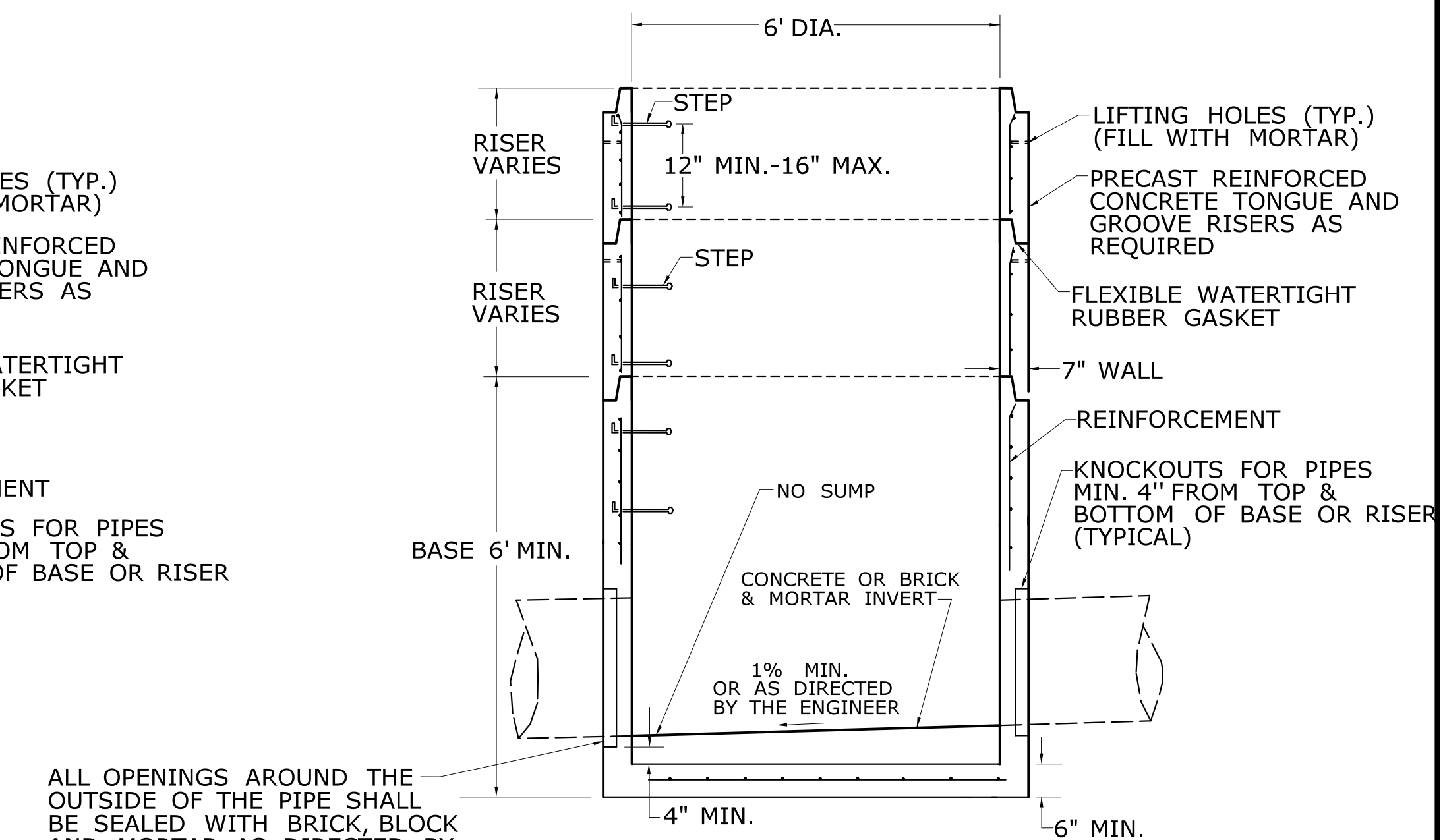
FLAT SLAB TOP FOR RISER SECTION



SECTION 4' DIAMETER REINFORCED PRECAST CONCRETE MANHOLE



SECTION 5' DIAMETER REINFORCED PRECAST CONCRETE MANHOLE

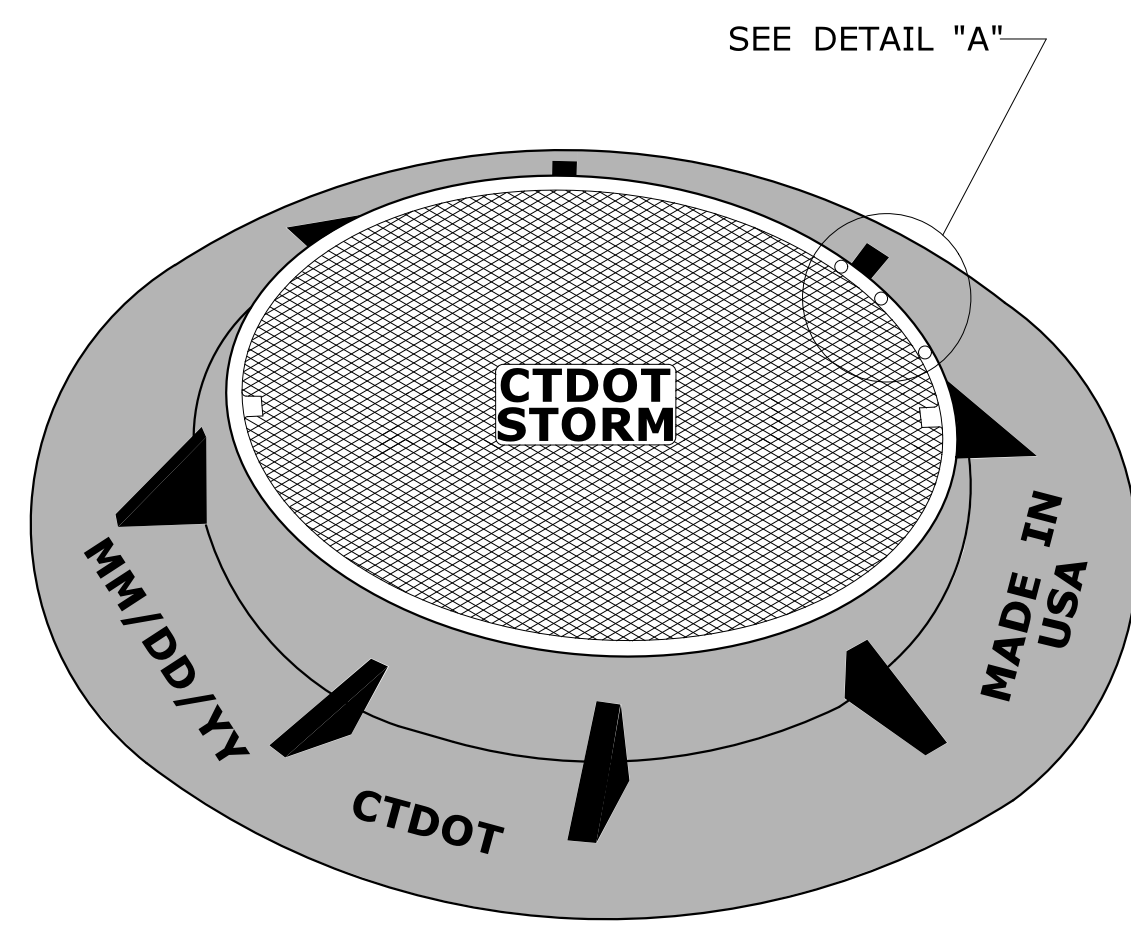


SECTION 6' DIAMETER REINFORCED PRECAST CONCRETE MANHOLE

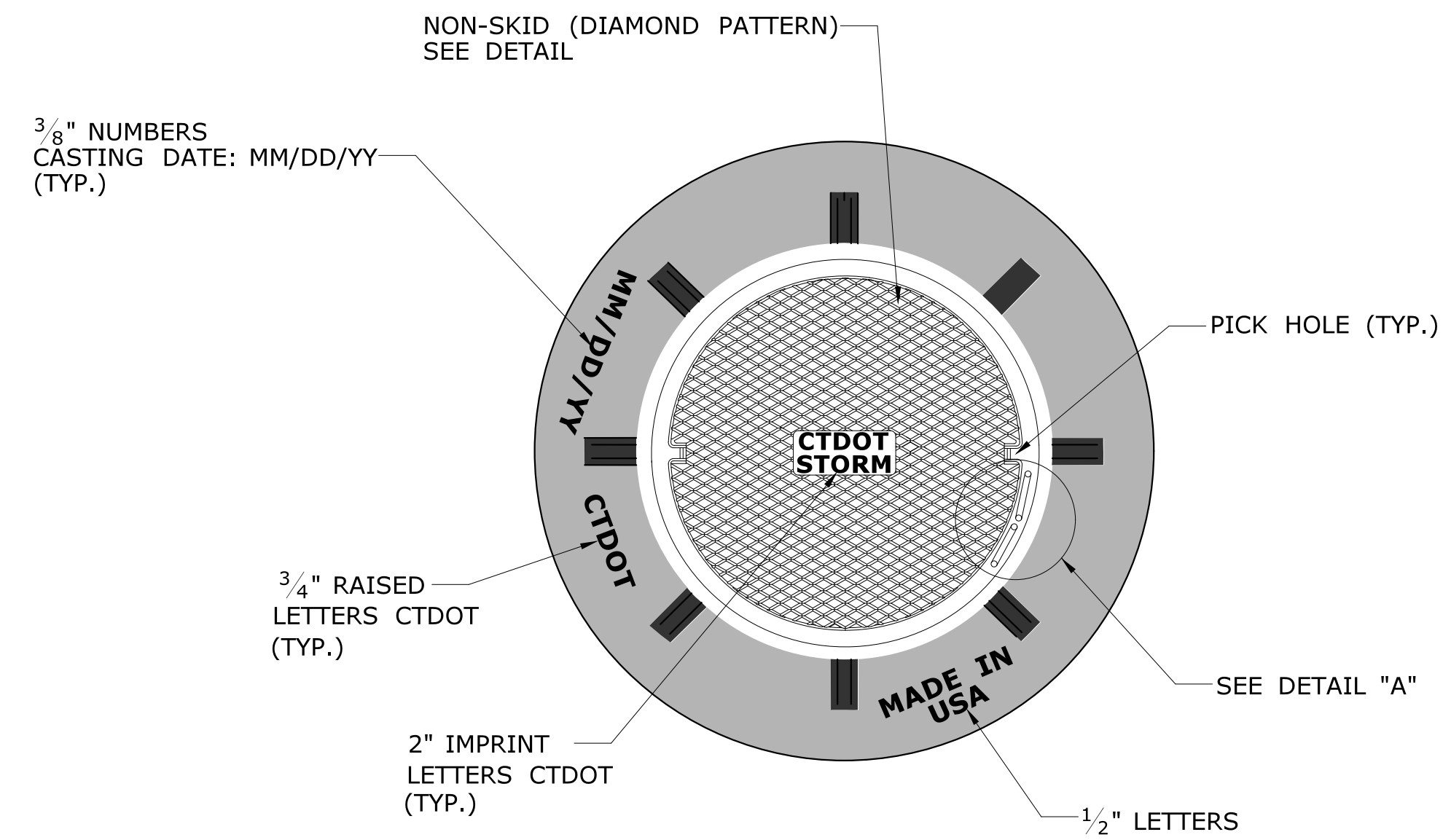
DESIGN INITIATED CHANGE ORDER NO. Y - mm/dd/yy

<p>THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.</p>		<p>DESIGNER/DRAFTER: CHECKED BY:</p>	<p>STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION</p>	<p>SIGNATURE/BLOCK: OFFICE OF ENGINEERING APPROVED BY:</p>	<p>PROJECT TITLE: -</p>	<p>TOWN: -</p>	<p>PROJECT NO. -</p>
<p>REV. DATE REVISION DESCRIPTION SHEET NO. Plotted Date: 1/30/2019</p>			<p>Filename: ...CTDOT_HIGHWAY_GD_[1-28-19].dgn</p>			<p>DRAWING TITLE: REINFORCED PRECAST CONCRETE MANHOLE</p>	<p>DRAWING NO. DGS-10c SHEET NO.</p>

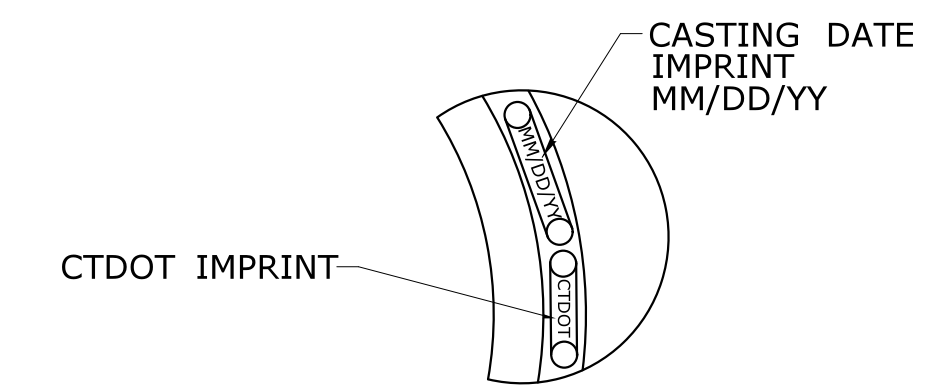
GENERAL NOTES:
 1. ALL DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.



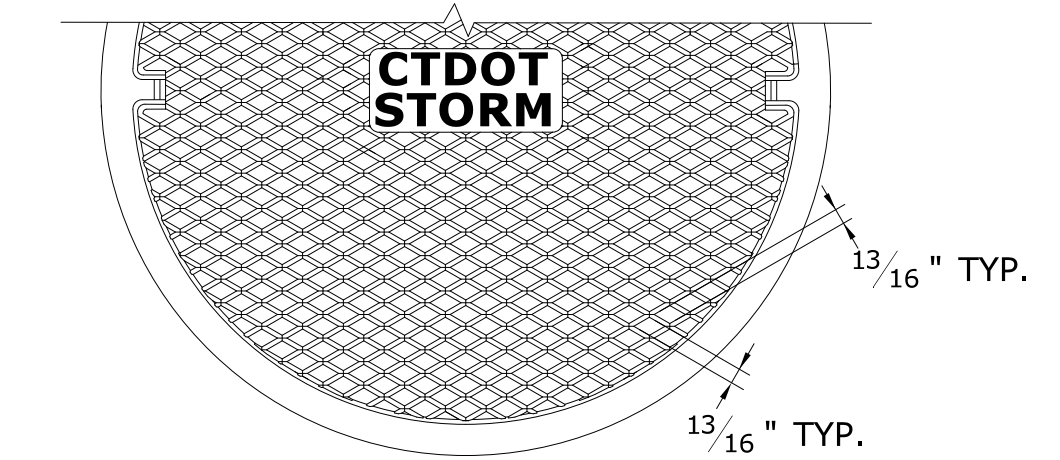
MANHOLE FRAME AND COVER



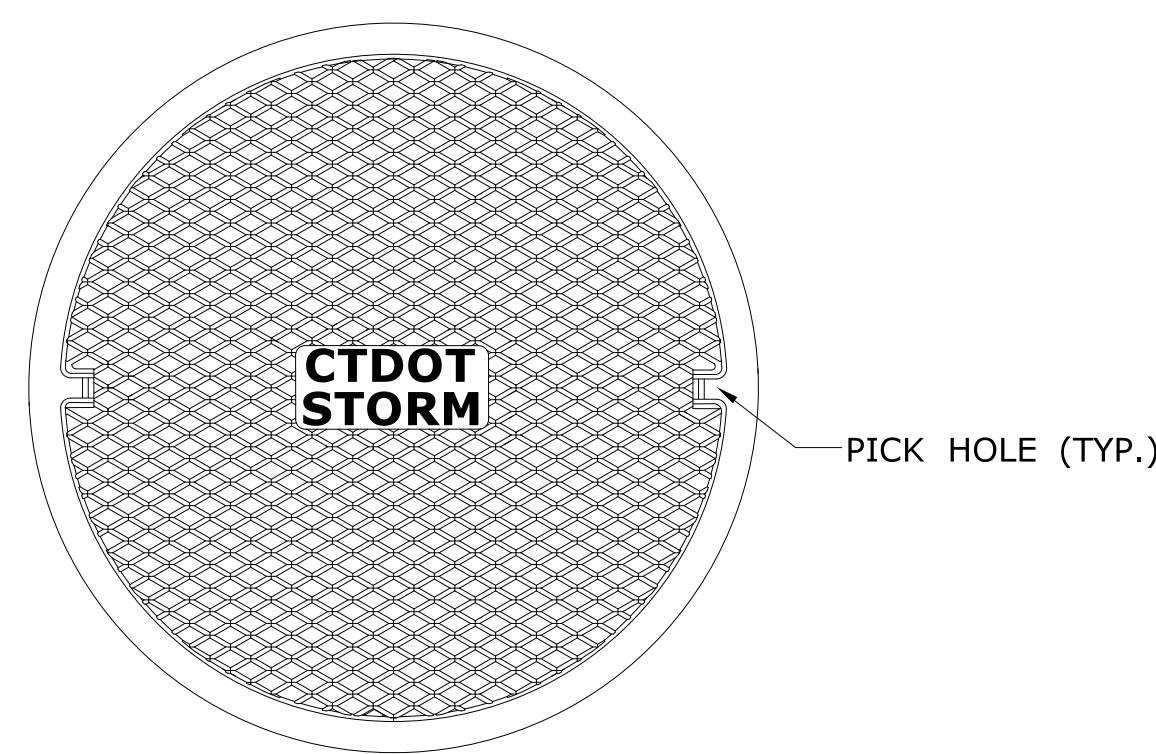
PLAN



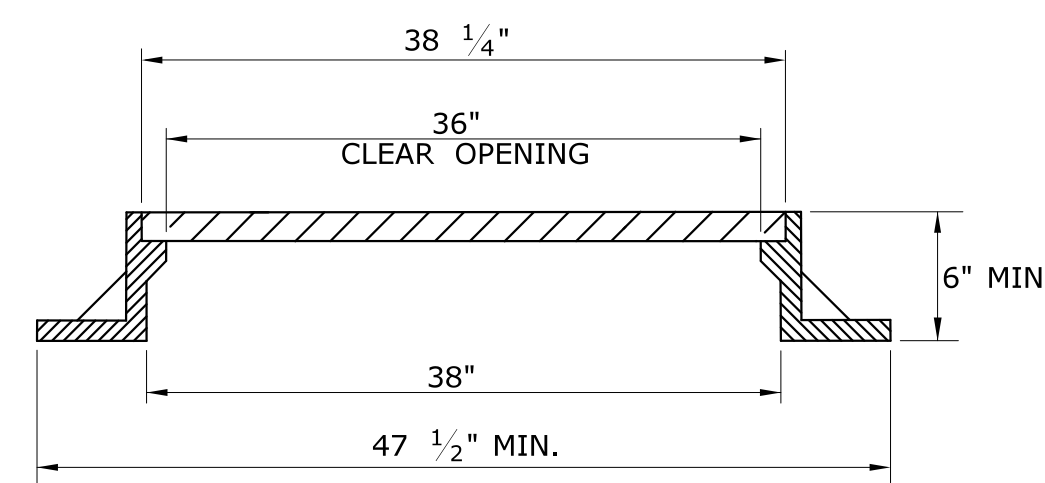
DETAIL "A"



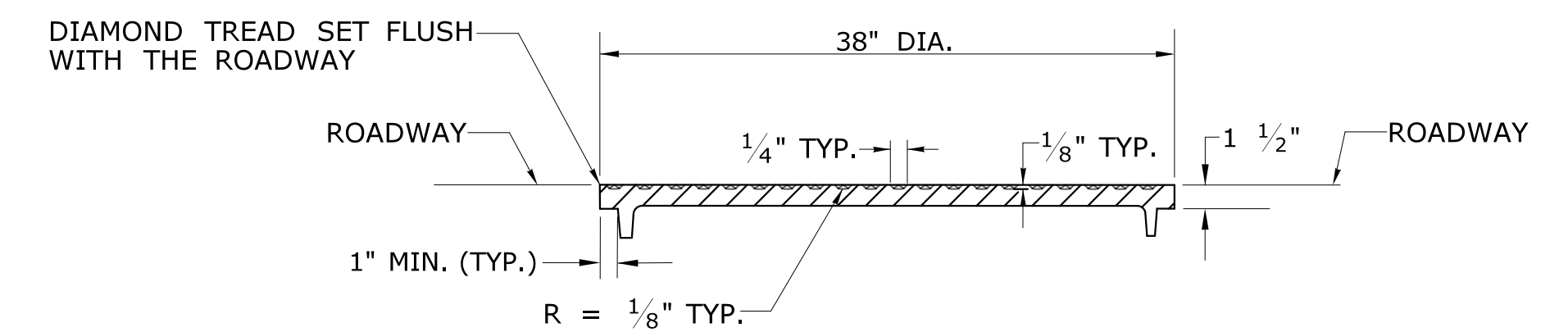
DIAMOND PATTERN PLAN



MANHOLE COVER PLAN



MANHOLE FRAME AND COVER



MANHOLE COVER WITH DIAMOND PATTERN

DESIGN INITIATED CHANGE ORDER NO. Y - mm/dd/yy

<p>THE INFORMATION, INCLUDING ESTIMATED QUANTITIES OF WORK, SHOWN ON THESE SHEETS IS BASED ON LIMITED INVESTIGATIONS BY THE STATE AND IS IN NO WAY WARRANTED TO INDICATE THE CONDITIONS OF ACTUAL QUANTITIES OF WORK WHICH WILL BE REQUIRED.</p>				<p>DESIGNER/DRAFTER: - CHECKED BY: -</p>		<p>STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION</p>		<p>SIGNATURE/BLOCK: - OFFICE OF ENGINEERING APPROVED BY: -</p>		<p>PROJECT TITLE: -</p>		<p>TOWN: -</p>		<p>PROJECT NO. - DRAWING NO. - DGS-10a SHEET NO. -</p>	
REV.	DATE	REVISION DESCRIPTION	SHEET NO.	Plotted Date: 1/30/2019		Filename: ...CTDOT_HIGHWAY_GD_[1-28-19].dgn									

MANHOLE FRAME AND COVER